



PUBLIC HEARING & REGULAR MEETING AGENDA

Planning and Zoning Commission

Thursday, October 2, 2025, at or after 5:30 p.m.

City Hall Council Chambers

425 E. 10th Street

1. Call to Order
2. Roll Call
3. Persons wishing to address the Commission in writing or verbally on any items not on the agenda.
4. Presentation of Staff Report for Public Hearing:
 - a. **SUP-2025-02: Special Use Permit** – A request for a Special Use Permit to allow an increase in the square footage of signage on an existing freestanding sign, while maintaining the current height. The proposed sign is to be located at 301 North Pan American Avenue, Douglas, Arizona (APN 409-09-026E), in accordance with Section 709(A)(1) of the City of Douglas Zoning Code.
 - b. **SUP-2025-03: Special Use Permit** – A request for a Special Use Permit to allow the installation of a freestanding sign exceeding the height limit established in Section 709(A)(2) of the Zoning Code. The proposed sign is 20 feet in height, whereas the code limits freestanding sign height to 10 feet. The property is located at 99 East 5th Street, Douglas, Arizona (APN 409-09-081D).
 - c. **ZCA-2025-01: Zoning Code Amendment** – A staff request for a Text Amendment to Article 7 – Supplementary District Regulations: Signs of the City of Douglas Zoning Code. The proposed amendment seeks to revise the existing sign code to reflect modern signage practices and standards. Changes may include, but are not limited to, increased allowable sign height and area, and greater flexibility in the number and type of permitted signage.
 - d. **ZMA-2025-04: Zoning District Map Amendment** – The applicant seeks to rezone two contiguous parcels under common ownership, located at 1101 and 1105 San Antonio Avenue from Limited Commercial (LC) to General Commercial (GC). Assessor's Parcel Number (APN) 409-18-068 (0.20 acres) and 409-18-067 (0.33 acres).
 - e. **ZMA-2025-06: Zoning District Map Amendment** – The applicant seeks to rezone a 0.25 - acre parcel located at 1915 10th Street from Limited Commercial (LC) to General Commercial (GC). Assessor's Parcel Number (APN) 409-18-001E
5. PUBLIC HEARING
6. REGULAR MEETING - ACTIONS
 - a. **SUP-2025-02: Special Use Permit** – A request for a Special Use Permit to allow an increase in the square footage of signage on an existing freestanding sign, while maintaining the current height. The proposed sign is to be located at 301 North Pan American Avenue, Douglas, Arizona (APN 409-09-026E), in accordance with Section 709(A)(1) of the City of Douglas Zoning Code.



- b. SUP-2025-03: Special Use Permit** –A request for a Special Use Permit to allow the installation of a freestanding sign exceeding the height limit established in Section 709(A)(2) of the Zoning Code. The proposed sign is 20 feet in height, whereas the code limits freestanding sign height to 10 feet. The property is located at 99 East 5th Street, Douglas, Arizona (APN 409-09-081D).
- c. ZCA-2025-01: Zoning Code Amendment** – A staff request for a Text Amendment to Article 7 – Supplementary District Regulations: Signs of the City of Douglas Zoning Code. The proposed amendment seeks to revise the existing sign code to reflect modern signage practices and standards. Changes may include, but are not limited to, increased allowable sign height and area, and greater flexibility in the number and type of permitted signage.
- d. ZMA-2025-04: Zoning District Map Amendment** – The applicant seeks to rezone two contiguous parcels under common ownership, located at 1101 and 1105 San Antonio Avenue from Limited Commercial (LC) to General Commercial (GC). Assessor's Parcel Number (APN) 409-18-068 (0.20 acres) and 409-18-067 (0.33 acres).
- e. ZMA-2025-06: Zoning District Map Amendment** – The applicant seeks to rezone a 0.25 - acre parcel located at 1915 10th Street from Limited Commercial (LC) to General Commercial (GC). Assessor's Parcel Number (APN) 409-18-001E

7. ADJOURNMENT

If authorized by a majority vote of the City of Douglas Planning and Zoning Commission, the Commission may adjourn the meeting at any time and move into Executive Session for legal advice on any agenda item, pursuant to A.R.S. § 38-431.03. The Executive Session will be held immediately after the vote to go into Executive Session and will not be open to the public.

Posted at City Hall on September 30, 2025 at 4:00 p.m. by Xenia Gonzalez, NRG Director

PURSUANT TO THE AMERICANS WITH DISABILITIES ACT (ADA), THE CITY OF DOUGLAS DOES NOT, BY REASON OF A DISABILITY, EXCLUDE FROM PARTICIPATION IN OR DENY BENEFITS OF SERVICES, PROGRAMS OR ACTIVITIES OR DISCRIMINATE AGAINST ANY QUALIFIED PERSON WITH A DISABILITY. INQUIRIES REGARDING COMPLIANCE WITH ADA PROVISION, ACCESSIBILITY OR ACCOMMODATION CAN BE DIRECTED TO LUIS PERALTA AT (520) 417-7329 AS EARLY AS POSSIBLE TO COORDINATE NEEDED ARRANGEMENTS.



SUP2025-02

Planning and Zoning Commission

October 2, 2025



Staff Report

To: Planning and Zoning Commission
From: Casandra Gomez
Date: Thursday, October 2, 2025

Subject: SUP-2025-02: Special Use Permit, 301 North Pan American Avenue, Douglas, Arizona (APN 409-09-026E)

INTRODUCTION

The applicant, Stephanie Banayat, on behalf of the property owner Montano & Associates LLC, is requesting a Special Use Permit for the installation of a new freestanding combo sign. The proposed sign will measure 50 $\frac{3}{4}$ " by 97 $\frac{1}{4}$ ", feature Pinnacle Illumination, and utilize an M2063 retainer with an M2053 H-divider bar. It will include two flat faces, each measuring 24 $\frac{1}{4}$ " by 95 $\frac{1}{2}$ ". The proposed reconfiguration will reduce the overall signage area compared to the existing cabinet. The project is located on a commercial property currently zoned **General Commercial (GC)**.

BACKGROUND

The permit application for the proposed sign cannot be processed until a Special Use Permit is obtained, as the freestanding sign exceeds the size permitted under the zoning code. If the new sign were the same size as the existing one, it could be classified as a pre-existing, non-conforming sign. However, since the proposed design is larger, a Special Use Permit is required before the application may proceed.

According to **Section 711 – Special Use Permits**, the Planning and Zoning Commission has the authority to grant Special Use Permits for signs that are designed as part of an integrated architectural feature of a building, in cases where the zoning code would otherwise prohibit such signs.

PROPOSAL

The applicant proposes to replace the existing freestanding price cabinet with a new illuminated combo sign. The sign will be modernized with updated materials and lighting for improved visibility, while maintaining compatibility with the scale of the site and surrounding development. The overall height and width of the structure will remain consistent with the property's existing sign placement, but the new design provides a cleaner layout with two balanced display faces. The sign is intended to improve readability for customers and strengthen business identification along the corridor.

POLICY CONSIDERATION

The request must be evaluated against the intent of the zoning code and the purpose of the Special Use Permit process. While the proposed sign exceeds the standard dimensional limits for freestanding signage in the **General Commercial (GC)** district, it reduces the overall display area compared to the existing cabinet and incorporates modern illumination that improves visibility without increasing clutter.



Key considerations include:

- **Compatibility:** The proposed sign is designed to complement the commercial corridor and will not create visual conflicts with nearby properties.
- **Community Character:** By reducing the display area and reconfiguring the cabinet into a more balanced format, the proposal aligns with the city's goal of promoting attractive and orderly signage.
- **Precedent:** Approval would recognize the need for updated signage while maintaining control over scale and design through the Special Use Permit process.

Overall, the proposal represents an upgrade from the existing condition and is consistent with the intent of Section 711 to encourage harmonious relationships between signage, buildings, and the surrounding environment.



SUP2025-02

Planning and Zoning Commission

October 2, 2025

Staff Report

Attachment:

Application



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Development Services
425 E. 10th Street • Douglas, AZ 85607 • Permitting (520) 417-7329
permits@douglasaz.gov • www.douglasaz.gov/290/Development-Services

Commercial Building Permit Application

Please print in black ink only.
Imprima solo en tinta negra.

Application Fee and Public Notice Fee...See Fee Schedule
Cuota de Solicitud y Cuota de Aviso Público...Ver Lista de Cuotas

Site Address/Dirección del Sitio: 100 E 3rd St, Douglas, AZ 85607
Application Name/Nombre de la Aplicación: [Office Use] Est. Project Value: [Office Use]

BP-C

Commercial Building Permit Type/Tipo de Permiso de Construcción Comercial

<input type="checkbox"/> New Construction/Nueva Construcción (CNP)	<input type="checkbox"/> Parking Structure/Garaje (CAG)
<input type="checkbox"/> Addition/La Añadidura (CAD)	<input type="checkbox"/> Carport/Cochera (CACP)
<input type="checkbox"/> Remodel/Remodelación (CRM)	<input type="checkbox"/> Accessory Building/Edificio Accesorio (CAB)
<input type="checkbox"/> Mechanical-Electrical/Mecánico-Eléctrico (CME)	<input type="checkbox"/> Awning/Toldo (CAP)
<input type="checkbox"/> Plumbing-Gas/Plomería-Gas (CPL)	<input checked="" type="checkbox"/> Sign/Letrero (CSGN)
<input type="checkbox"/> Re-Roof	<input type="checkbox"/> Fence/Wall
<input type="checkbox"/> Swimming Pool/Piscina (Hot Tub/Jacuzzi) (CSW)	<input type="checkbox"/> Other/Otro

Applicant/Solicitante 1: (required/requeridos)

Name/Nombre: Stephanie Banayat	Phone/Teléfono: 4805709986
Mailing Address/Dirección de Envío: 1809 E Berridge Dr	City/Ciudad, State/Estado, Zip/Código postal: Phoenix, Az 85016

E-Mail Address:

Property Owner(s) (if not Applicant(s))/Dueños de la Propiedad (si no es Solicitante):

Name/Nombre: MONTANO & ASSOCIATE LLC	Phone/Teléfono: (520) 364-6753
Mailing Address/Dirección de Envío: 100 E 3rd St,	City/Ciudad, State/Estado, Zip/Código postal: Douglas, AZ 85607

E-Mail Address:

Agent/Agente (required if primary contact is different from Applicant)/ obligatorio si el contacto principal no es el Solicitante):

Name/Nombre:	Phone/Teléfono:
Mailing Address/Dirección de Envío:	City/Ciudad, State/Estado, Zip/Código postal:
E-Mail Address:	License #/Número de Licencia:

OFFICE USE ONLY

Date Application Received:	Received by:
Date Application Complete:	Completeness Review by:

Site Information for Planning & Zoning Compliance

Zoning District	Properly Development Standards			
Lot Area	Lot Width	Front Setback	Rear Setback	Side Setbacks

City Planner (designee) approval initials

Printed on recycled paper. © 2007 Douglas. This form is not to be used for a permit application. It is to be used only to obtain a permit to provide the name, telephone number, and contact information of the employee who is authorized and able to provide information about the communication of the communication. Below are the following:
1. Name and address of the business, firm, or organization.
2. Name and address of the individual or individual to whom the communication is to be directed.
3. Name and address of the individual or individual to whom the communication is to be directed.
4. Name and address of the individual or individual to whom the communication is to be directed.
An employee who is authorized and able to provide information about the communication that is described above shall not be held liable for any damages due to the employee's failure to communicate.

Commercial Building Permit/Permiso de Construcción Comercial

Existing/Existente	Proposed building amount, in square feet or linear feet, below.		
	Cantidad de construcción propuesta, en pies cuadrados o pies lineales, a continuación.		
	New Construction	Addition	Alteration/Remodel
	Nueva Construcción	Añadidura	Alteración/Remodelación
1st Floor/1er Piso			
2nd Floor/2do Piso			
Garage/Garaje (Storage/Trastero)			
Covered Porch/Ramada			
Deck/Plataforma			
Tot. Sq. Ft./Pies Cuadrados:	# Commercial Spaces:	# Stories/Pisos:	
Is this site served by sewer or an on-site septic system?	<input type="checkbox"/> Sewer <input type="checkbox"/> Septic		
Does this building have fire sprinklers throughout?	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Mechanical	<i>Include all new and relocated mechanical equipment and gas piping for project. Equipment not listed will not be included on permit. Separate permit and fees will be required.</i>		
Quantity	Description	CFM	Max. Output BTU/h
	50-99 CFM Fans		
	100 or > CFM Fans		
	Furnace		
	Fireplace		
	Gas Line Test/Inspect		
	Gas Water Heater		
	Air Conditioner		
	Heat Pump		
	Gas Dryer		
	Gas Range		
	Gas Piping Outlets		Valuation Mechanical
Electrical/Eléctrico	<i>Indicate the number of each new and relocated fixture type in the space provided.</i>		
Panel Upgrade		PV Array (kW)	Outdoor Lighting/Illuminación Exterior
100A 200A		Ground Roof	Wattage/Potencia
300A 400A		# of Modules/Panels	Lumens
Wiring Upgrade		Ht. if Ground Mt.	Shielded Y/N
Circuit Upgrade		N E W S	Other Work:
New Outlet		Square Footage	Valuation Electric
Plumbing/Plomería	<i>Indicate the number of each new and relocated fixture type in the space provided.</i>		
Bathtub		Hose Bibb	Electric Water Heater
Bathtub/Shower		Kitchen Sink	Water Service
Clotheswasher		Laundry Sink	Water Softener
Dishwasher		Service Sink	Other
Floor Drain		Shower	Repair
Hand Sink		Toilet	Valuation Plumbing

FEMA Floodplain Designation for Subject Site /
Designación de Llanura Aluvial de FEMA para el Sitio en Cuestión

Is the Subject Site located within a FEMA-designated floodplain zone? / ¿El Sitio en Cuestión está ubicado dentro de una zona de llanura aluvial designada por FEMA?	YES/SÍ	<input checked="" type="radio"/> NO/NO	UNSURE/ASEGURAR
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If you circled YES, please include documentation such as a flood elevation certificate or flood insurance policy for the Subject Site with your application. If the Subject Site is located within a FEMA-designated floodplain zone, a State-registered civil engineer or registered surveyor will be needed to prepare documentation of flood elevations for any existing and proposed structures on the Subject Site for review by the City Engineer.

Si marcó con un círculo SÍ, incluya documentación como un certificado de elevación de inundaciones o una póliza de seguro contra inundaciones para el Sitio en Cuestión con su solicitud. Si el Sitio en Cuestión está ubicado dentro de una zona de llanura aluvial designada por FEMA, se necesitará un ingeniero civil registrado por el Estado o un topógrafo registrado para preparar la documentación de las elevaciones de inundación para cualquier estructura existente y propuesta en el Sitio en Cuestión para su revisión por parte del Ingeniero de la Ciudad.

Overlay Regulations Adoption for Subject Site / Adopción de Regulaciones Superpuestas para el Sitio en Cuestión

If you own the Subject Site and it is located within an Overlay Zoning District, please circle if you wish to adopt the regulations of that Overlay.	MUI	IC-R	IC-C	IC-MU
Si es propietario del Sitio en cuestión y está ubicado dentro de un Distrito de Zonificación Superpuesto, marque con un círculo si desea adoptar las regulaciones de esa Superposición.	RUM	R-CI	C-CI	UM-CI
Owner Signature/Firma del Dueño:				
Applicant/ Solicitante:	<input type="checkbox"/> Owner/ Dueño	<input type="checkbox"/> Owner's Agent/ Agente del Dueño	<input type="checkbox"/> Contractor/ Contratista	<input checked="" type="checkbox"/> Contractor's Agent/ Agente del Controlista

CERTIFICATION OF COMPLIANCE / Certificación de Cumplimiento

I certify that I have read this application and declare under penalty of perjury that the information contained herein is correct and complete. I agree to comply with all city and county ordinances, as well as Federal and State laws relating to building construction and hereby authorize representatives of this city to enter upon the above mentioned property for inspection purposes. I am either the owner of the property described on this permit application, the Arizona State registered contractor responsible for the work, or I represent the owner or contractor as signified above and am acting with the owner's/contractors full knowledge or consent.

Certifico que he leído esta solicitud y declaro bajo pena de perjurio que la información aquí contenida es correcta y completa. Acepto cumplir con todas las ordenanzas y leyes estatales de la ciudad y el condado relacionadas con la construcción de edificios y por la presente autorizo a los representantes de esta ciudad a ingresar a la propiedad mencionada anteriormente para fines de inspección. Soy el propietario de la propiedad descrita en esta solicitud de permiso, el contratista registrado en el estado de Arizona responsable del trabajo, o represento al propietario o contratista como se indica anteriormente y actúo con pleno conocimiento o consentimiento del propietario/contratista.

Stephanie Banayat

Print Name of Applicant

6/16/2025 *Stephanie Banayat*
 Applicant's Signature and Date



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Commercial Building Permit Application Checklist/

Lista de Verificación de Solicitud de Permiso de Construcción Comercial

All plans must be completed and clearly legible. Note on plans whether an item is existing or proposed.

Todos los planos deben estar completos y claramente legibles. Anote en los planes si un artículo existe o se propone.

Site Address/Dirección del Sitio : The address or parcel number where work will be done/La dirección o número de parcela donde se realizará el trabajo. Parcel #409-09-026E0	Est. Project Value/Valor Estimado del Proyecto : Usually the cost of construction materials and labor/Por lo general, el costo de los materiales de construcción y mano de obra. 2500
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REQUIRED FOR ALL COMMERCIAL BUILDING PERMIT APPLICATIONS/

REQUERIDO PARA TODAS LAS SOLICITUDES DE PERMISO DE EDIFICIO COMERCIAL :

SITE PLAN Details/PLAN DE SITIO Detalles

- 1. Site Address, Legal Description, and Parcel Number/Dirección del Sitio, Descripción Legal y Número de Parcela.
- 2. North Arrow/Flecha Norte.
- 3. Engineering Scale at 1 in. = 10 ft. or 20 ft./Escala de Ingeniería a 1 pulg. = 10 pies o 20 pies.
- 4. All property lines with dimensions in U.S. feet and inches/Todas las líneas de propiedad con dimensiones en pies y pulgadas estadounidenses.
- 5. Show locations, uses, and dimensions of all proposed and existing structures on site, including distances from property lines and other buildings/Mostrar ubicaciones, usos y dimensiones de todas las estructuras propuestas y existentes en el sitio, incluidas las distancias desde los límites de la propiedad y otros edificios.
- 6. Location of all easements for access and utilities, if applicable/Ubicación de todas las servidumbres de acceso y servicios públicos, si corresponde.
- 7. Name(s) of any street(s) adjoining the project site/Nombre(s) de cualquier calle(s) contigua(s) al sitio del proyecto.
- 8. Existing and proposed driveway, curbing and sidewalk with surface materials noted/Calzada existente y propuesta, bordillo y acera con materiales de superficie anotados.
- 9. Location, height, and material of walls and fences/Ubicación, altura y material de muros y cercas.

GRADING & DRAINAGE PLAN Details/PLAN de NIVELACIÓN Y DRENAJE Detalles

- 1. Drainage Facilities Plan showing direction of drainage on the property and location, depth, and width of all drainage ways or washes/Plano de Instalaciones de Drenaje que muestre la dirección del drenaje en la propiedad y la ubicación, la profundidad y el ancho de todas las vías de drenaje o lavados.

GRADING & DRAINAGE PLAN Details continued/PLAN de NIVELACIÓN Y DRENAJE Detalles continuación

<input type="checkbox"/> 2. Show all floodplain and drainage requirements/Mostrar todos los requisitos de llanuras aluviales y drenaje .
<input type="checkbox"/> 3. <u>Retention/Defenlon Basin Plan</u> showing location and dimensions with relation to drainage ways or washes/ <u>Plano de la Cuenca de Retención/Defención</u> que muestra la ubicación y las dimensiones con relación a las vías de drenaje o lavados.

LANDSCAPING & LIGHTING PLAN Details/PLAN de PAISAJISMO E ILUMINACIÓN Detalles

<input type="checkbox"/> 1. <u>Landscaping Plan</u> to include the location, size, common name, and scientific name of all landscaping materials/ <u>Plan de Paisajismo</u> que incluya la ubicación, el tamaño, el nombre común y el nombre científico de todos los materiales de paisajismo .
<input type="checkbox"/> 2. Location and type of irrigation system/Ubicación y tipo de sistema de riego .
<input type="checkbox"/> 3. Where applicable for controlling noise and light pollution, provide location and type of buffer zone/Cuando corresponda para controlar la contaminación acústica y lumínica, proporcione la ubicación y el tipo de zona de amortiguamiento .
<input type="checkbox"/> 4. Site screening location(s) and materials/Ubicación(es) y materiales de evaluación del sitio.
<input type="checkbox"/> 5. Where applicable, location and arrangement of all open space, common recreational space, and private open space/Cuando corresponda, ubicación y disposición de todos los espacios abiertos, espacios recreativos comunes y espacios abiertos privados .
<input type="checkbox"/> 6. Location and type of fixture of any outdoor lighting, with shielding as required/Ubicación y tipo de luminaria de cualquier iluminación exterior, con blindaje según sea necesario .

CONSTRUCTION PLAN Details/PLAN de CONSTRUCCIÓN Detalles

<input type="checkbox"/> 1. <u>Floor Plan</u> showing dimensions of the exterior and interior features (rooms, windows, doors, fixtures) of the proposed structure(s) to be permitted/ <u>Plano de Planta</u> que muestre las dimensiones del exterior y el interior (habitaciones, ventanas, puertas, accesorios) de la(s) estructura(s) propuesta(s) que se permitirá(n) .
<input type="checkbox"/> 2. <u>Foundation-Plumbing Plan</u> showing dimensions of foundation, walls, and locations of water and wastewater lines, with construction notes/ <u>Plano de Cimientos y Plomería</u> que muestra las dimensiones de los cimientos, las paredes y las ubicaciones de las líneas de agua y aguas residuales, con notas de construcción .
<input type="checkbox"/> 3. <u>Roof Plan</u> showing location and dimension of rafters, fascia, flyrafters, and truss(es), in plan view and elevation showing pitch/ <u>Plano del Techo</u> que muestra la ubicación y la dimensión de las vigas, la imposta, las vigas flotantes y la(s) armadura(s), en la vista en planta y el alzado que muestra la pendiente .
<input type="checkbox"/> 4. <u>Elevations Plan</u> showing dimensions of the proposed structure exterior elements from each direction, with materials of each surface/ <u>Plano de Elevaciones</u> que muestra las dimensiones de los elementos exteriores de la estructura propuesta desde cada dirección, con los materiales de cada superficie .
<input type="checkbox"/> 5. <u>Section Details</u> (in vertical) showing foundation and footing, wall and attic insulation/ <u>Detalles de la Sección</u> (en vertical) que muestran los cimientos y los cimientos, la pared y el aislamiento del ático .

<input type="checkbox"/>	CONSTRUCTION PLAN Details continued/PLAN de CONSTRUCCIÓN Detalles continuado
<input type="checkbox"/>	6. Electrical-Mechanical Plan showing locations of electrical outlets by type with voltages, lights/fans by types, heating-cooling system controls, and security and smoke alarm systems/ Plano Eléctrico-Mecánico que muestra la ubicación de los enchufes eléctricos por tipo con voltajes, luces/ventiladores por tipos, controles del sistema de calefacción y refrigeración y sistemas de alarma de seguridad y humo .



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Contractor Affidavit*

Declaración Jurada del Contratista*

REQUIRED FOR ALL PERMIT APPLICATIONS/

REQUERIDO PARA TODAS LAS SOLICITUDES DE PERMISO :

I am an actively licensed contractor with the State of Arizona Registrar of Contractors (ROC).

Soy un contratista con licencia activa del Registro de Contratistas del Estado de Arizona (ROC)

Name/ Nombre	
Name of Business/ Nombre del Negocio	
ROC License Number / Número de Licencia del Registrador de Contratistas	
License Class(es)/ Clase(s) de Licencia	
City Business License #/ Número de licencia comercial de la ciudad	
Signature and Date/ Firma y Fecha	
Title/Título	

Per A.R.S. §32-1121A.6, I will be using the following licensed contractors on this project:

Por A.R.S. §32-1121A.6, usaré los siguientes contratistas autorizados en este proyecto:

General Contractor/ Contratista General	Robert McRoberts/ Romi Services LLC
ROC License Number/ Número de Licencia del Registrador de Contratistas	328584
License Class(es)/ Clase(s) de Licencia	construction
City Business License #/ Número de licencia comercial de la ciudad	EIN 843267980
Signature & Date/ Firma y Fecha	6/16/2025 <i>Robert McRoberts</i>

Mechanical Contractor/ Contratista Mecánico	
ROC License Number/ Número de Licencia del Registrador de Contratistas	
License Class(es)/ Clase(s) de Licencia	
City Business License #/ Número de licencia comercial de la ciudad	
Signature & Date/ Firma y Fecha	

Electrical Contractor/ Contratista Eléctrico	
ROC License Number/ Número de Licencia del Registrador de Contratistas	
License Class(es)/ Clase(s) de Licencia	
City Business License #/ Número de licencia comercial de la ciudad	
Signature & Date/ Firma y Fecha	
Plumbing Contractor/	
ROC License Number/ Número de Licencia del Registrador de Contratistas	
License Class(es)/ Clase(s) de Licencia	
City Business License #/ Número de licencia comercial de la ciudad	
Signature & Date/ Firma y Fecha	

ARTICLES OF ORGANIZATION OF LIMITED LIABILITY COMPANY

ENTITY INFORMATION

ENTITY NAME: ROMI Services LLC
ENTITY ID: 23025555
ENTITY TYPE: Domestic LLC
EFFECTIVE DATE: 09/23/2019
CHARACTER OF BUSINESS: Construction
MANAGEMENT STRUCTURE: Member-Managed
PERIOD OF DURATION: Perpetual
PROFESSIONAL SERVICES: N/A

STATUTORY AGENT INFORMATION

STATUTORY AGENT NAME: Robert McRoberts
PHYSICAL ADDRESS: 1809 E Berridge Lane, PHOENIX, AZ 85016
MAILING ADDRESS: 1809 E Berridge Lane, PHOENIX, AZ 85016

KNOWN PLACE OF BUSINESS

1809 E Berridge Lane, PHOENIX, AZ 85016

PRINCIPALS

Member: Robert McRoberts - 1809 E Berridge Lane, PHOENIX, AZ 85016, USA - Robbiemcroberts@gmail.com
- Date of Taking Office:

ORGANIZERS

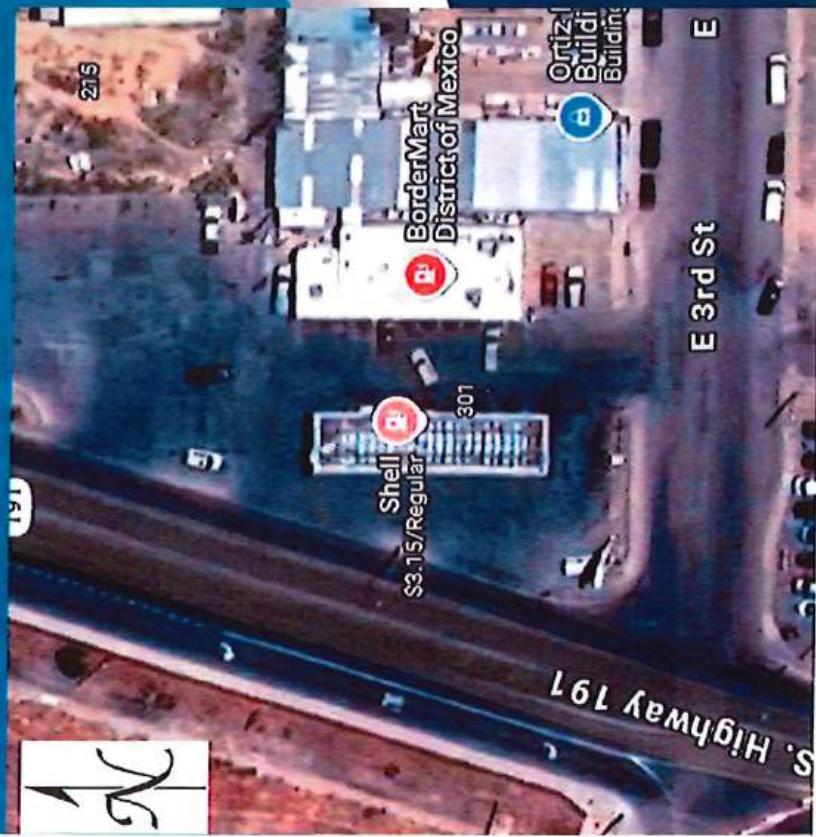
Michael Hanlen: 1809 E Berridge Lane, PHOENIX, AZ 85016, USA,
Robert McRoberts: 1809 E Berridge Lane, PHOENIX, AZ 85016, USA, Robbiemcroberts@gmail.com

SIGNATURES

Authorized Agent: Michael Hanlen - 10/01/2019
Authorized Agent: Robert McRoberts - 10/01/2019



Image Brand Book



Parcel #409-09-026E0

Requestor: AMBER WARNICK

Jobber: ARIZONA FUEL DISTRIBUTORS

Dealer:

Site Address: 100 E 3RD ST., DOUGLAS, AZ

Canopy Layout

Approved by:

Date:

MARATHON Plan View

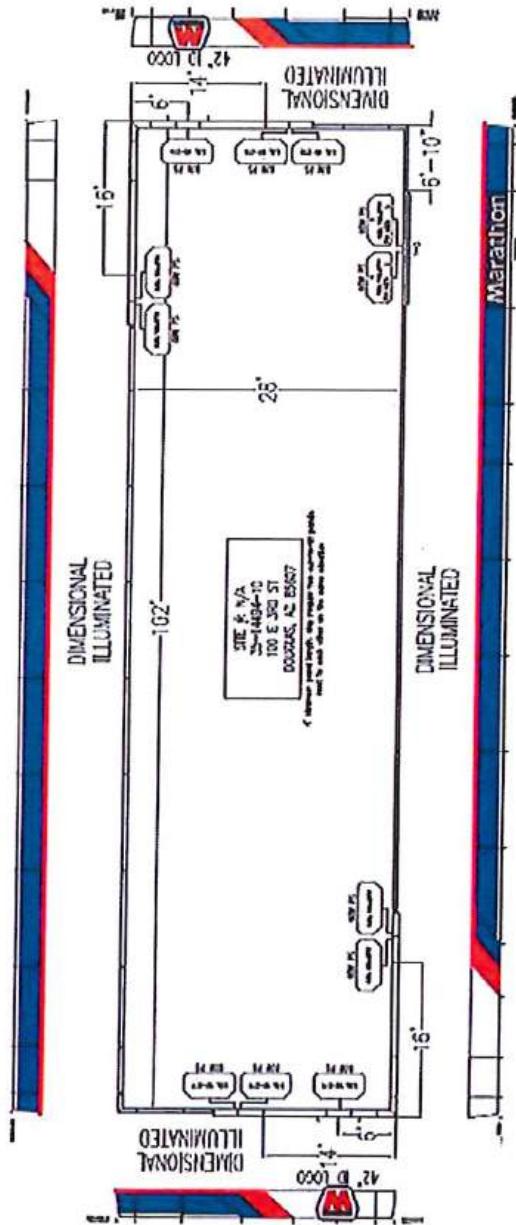
Fascia: 36" ID: 42" Wordmark 22"

☒ Extension Kit ☐ Radius Kit

Store

Special Note(s):
- ACTUAL FASCIA HEIGHT
30 %

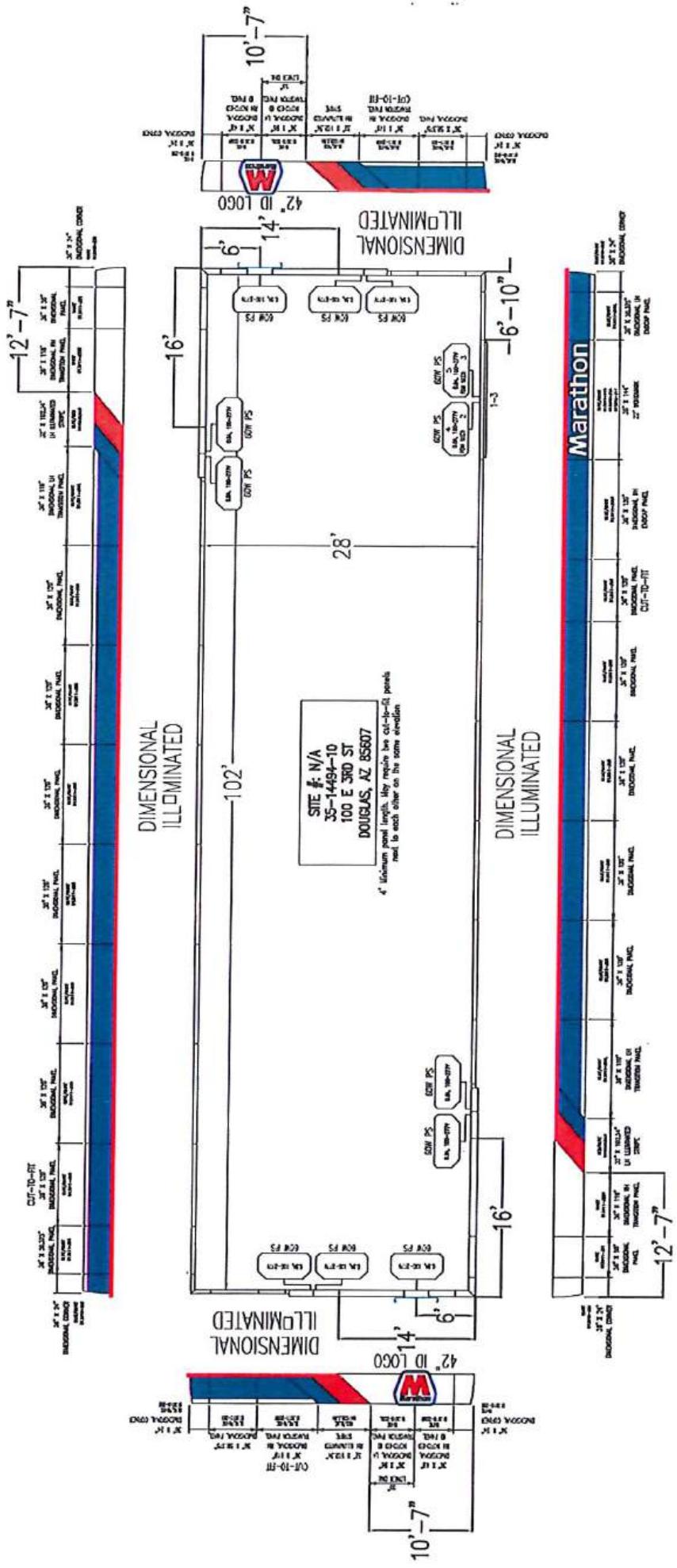
Secondary Road - E 3rd St



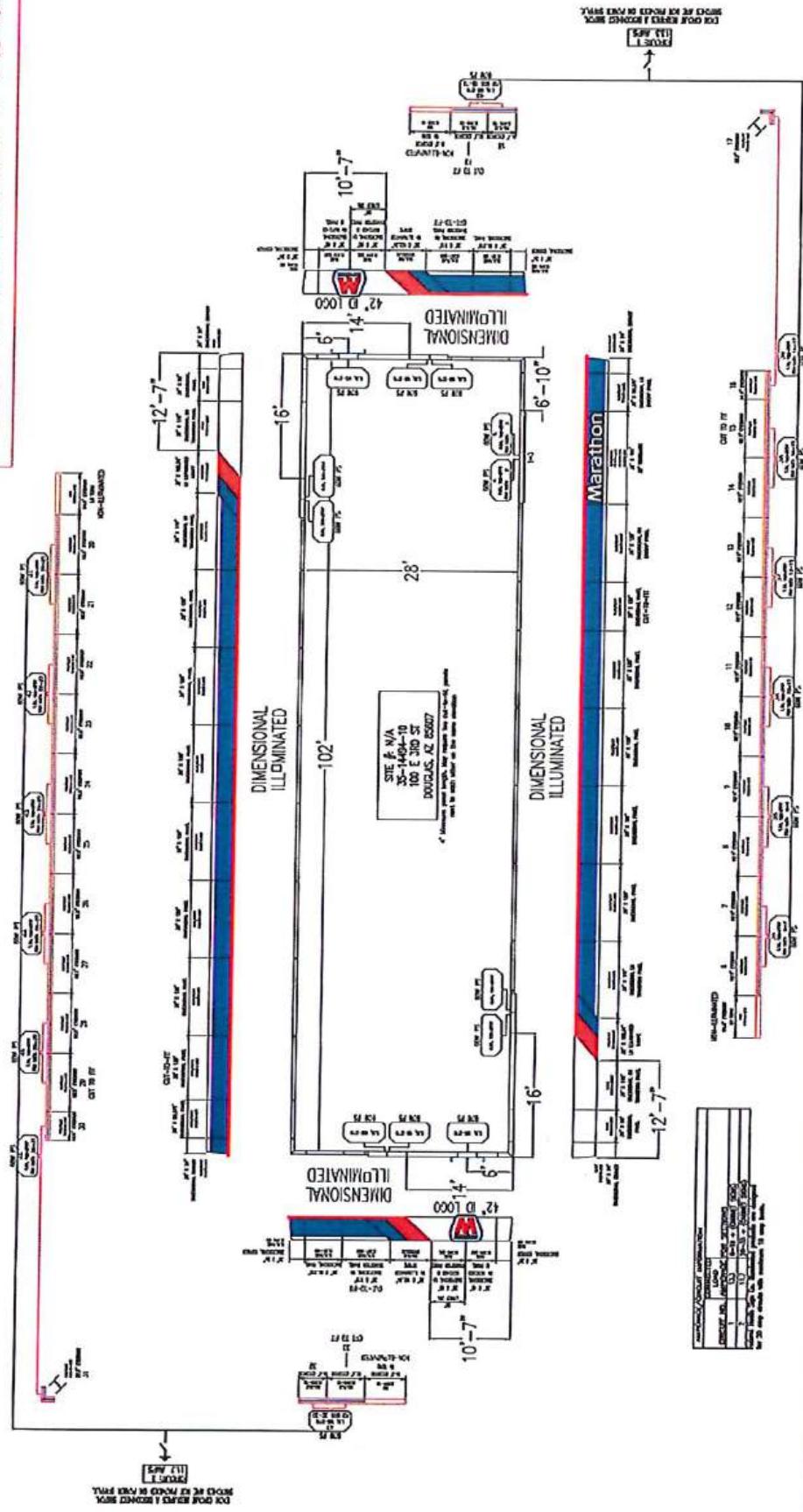
Notes:

- Layout must be approved and returned to process order.

Primary Road - PAN AMERICAN AVE/US HWY 191



NOTE:
THIS CANOPY WILL REQUIRE AN EXTENSION KIT TO BE INSTALLED.



**FEDERAL
HEALTH**
VERBAL COMMUNICATIONS
1020-A PITTSTON DR, DULUTH, GA 30036
303-458-1120

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MAY NOT BE REPRODUCED

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SHELL RV MODIFIED TO MARATHON ENDURANCE

RETROFIT Existing ID Cabinet: 99-1/2" x 97-1/4"
ATTACH M2063 RETAINER TO FACE
(BOS# # 20243775)

REGULAR
RETROFIT KIT/M2063 RETAINER/M2063 H-DIV BAR
30° Able - Segment LENS

VC - Direct
FLAT FACES

Price Face: 77-1/4" x 95-1/2"

VC Face: 20-95-1/2"

NEW COMBO SIGN: 50-3/4" x 97-1/4"
Prismatic Illumination
M2063 Retainer/M2053 H-Divider Bar
(2) Faces: 24-1/4" x 95-1/2" each
FLAT FACES

EXISTING



PROPOSED



SIGN COMPANY

1000 North Dalton Jacksonville, FL 32706
(904) 358-2100 (800) 888-1327 Fax: (904) 358-2101

Manufacturing Facilities:
Cleveland - Bucks - Jacksonville - Columbus
Office Locations:
Orlando - Las Vegas - Laughlin - Las Vegas Park
Euros - Jacksonville - Houston - San Antonio
Wichita Falls - Corpus Christi - Milwaukee
Cincinnati - Westerville - Louisville - Columbus
Atlanta - Tampa - Daytona Beach - Winter Park
Building Quality Signage Since 1901

Revision:
R1: Recalibrated the whole sign. 05.26.25 std

Account Rep. _____
Project Manager: Ciara Karemian
Drawn By: Suzi Tanjlin

Project / Location:
100 E 3RD ST.
DOUGLAS, AZ 85607

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MA20252982.E

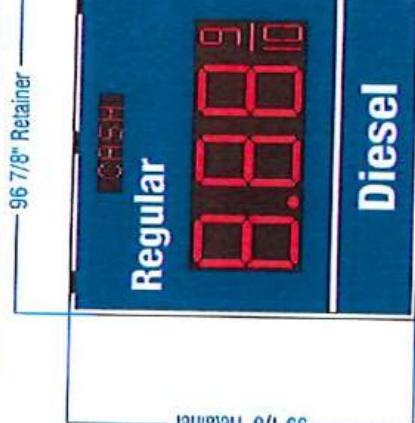
File Name: _____
Date: 06.13.25
Sheet Number: 1 of 1
Design Number: _____
Signature: _____ Date: _____

Approved Approved w/Changes
Signature: _____ Date: _____

96 7/8" Retainer



63" Embossed Logo
99 1/8" Retainer



99 1/8" Retainer

96 7/8" Retainer



50 3/4" Cabinet

Signature: _____ Date: _____



SUP2025-03

Planning and Zoning Commission

October 2, 2025



Staff Report

To: Planning and Zoning Commision

From: Casandra Gomez

Date: Thursday, October 2, 2025

Subject: SUP-2025-03: Special Use Permit, 99 East 5th Street, Douglas, Arizona (APN 409-09-081D)

INTRODUCTION

The applicant, Cynthia Del Risco, on behalf of the property owner Ron Broatch, is requesting a Special Use Permit (SUP) for the installation of new signage at a commercial property zoned General Commercial (GC).

The request includes two components:

Freestanding Sign – A proposed sign with a height of 27.5 feet, which exceeds the current maximum permitted height of 10 feet under the zoning ordinance.

Wall-Mounted Sign (West-Facing) – A proposed wall sign that exceeds the maximum permitted frontage allowance for wall-mounted signage under the code.

The request requires a Special Use Permit because the proposed signage exceeds the dimensional limits established in Section 709 – Signs Permitted for Nonresidential Uses.

BACKGROUND

Relevant Code Provisions

Section 709 – Signs Permitted for Nonresidential Uses (NC, OP, GC, IP, LI, HI, and AA):

(a) Freestanding Signs

Area: Maximum permitted area of 32 sq. ft. per sign face.

Height/Clearance: Maximum height of 10 ft., measured from the level of the main commercial floor of the primary structure.

Number: One multi-faced freestanding sign identifying the business, products, facilities, or services available on the premises.

Location: Signs may not be placed within or over the street, sidewalk, or right-of-way. Signs must not obstruct the clear-vision area at intersections or driveways, as determined by the police department, building inspector, or city engineer.



(b) Wall Signs

Area:

Maximum of 1 sq. ft. per linear foot of primary building frontage, or

Maximum of 1 sq. ft. per 5 ft. of primary lot frontage.

Combined area of wall and freestanding signage may not exceed the total permitted square footage.

Height/Clearance: Maximum height of 5 ft. No wall sign may extend above the roofline or parapet wall.

Multiple Frontages: Buildings with multiple frontages may have separate sign area allowances for each frontage; however, unused allowances may not be transferred to other frontages or occupancies.

Additional Provisions:

709.1 Signs on Common Buildings: Sign regulations apply to each business separately in multi-tenant buildings.

709.2 Street Address Requirement: All freestanding signs in commercial or industrial districts must display the street address in a size clearly legible from the roadway.

PROPOSAL

The proposed freestanding sign will have a height of 27.5 feet, which exceeds the maximum permitted height of 10 feet. However, the sign face remains within the allowable limit of 32 square feet per face. The sign will be located fully within the property boundaries and will not encroach into the public right-of-way. In addition, the applicant is proposing a west-facing wall-mounted sign, which will be placed on the building's west façade. This sign exceeds the maximum frontage calculation allowed under the code but complies with the requirement that wall signs not exceed five feet in height or extend above the roofline or parapet wall.

POLICY CONSIDERATIONS

Section 711 – Special Use Permits authorizes the Planning and Zoning Commission to approve signage that exceeds dimensional standards if certain conditions are met. Approval may be granted when a sign is designed as part of an integrated architectural feature of the building, or when the zoning code would otherwise prohibit the sign but the Commission determines that approval would not negatively affect public health, safety, or general welfare.

In reviewing such requests, the Commission typically considers whether the proposed signage is compatible with the surrounding area in terms of scale, design, and character; whether the sign's location or height creates any traffic safety concerns at intersections or driveways; whether the proposal reduces overall sign clutter, improves legibility, or consolidates signage compared to existing conditions; and whether the request aligns with the intent of the sign code to ensure clear, safe, and attractive signage, even when dimensional standards are exceeded.



SUP2025-03

Planning and Zoning Commission

October 2, 2025

Staff Report

Attachment:

Application



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Development Services
425 E. 10th Street • Douglas, AZ 85607 • Permitting (520) 417-7329
permits@douglasaz.gov • www.douglasaz.gov/290/Development-Services

Commercial Building Permit Application

Please print in black ink only.
Imprimo solo en tinta negra.

Application Fee and Public Notice Fee...See Fee Schedule
Cuota de Solicitud y Cuota de Aviso Público...Ver Lista de Cuotas

Site Address/Dirección del Sitio: 99 E Fifth St

Est. Project Value: [Office Use]

Application Name/Nombre de la Aplicación: [Office Use]

BP-C

Commercial Building Permit Type/Tipo de Permiso de Construcción Comercial

<input type="checkbox"/> New Construction/Nueva Construcción (CNP)	<input type="checkbox"/> Parking Structure/Garaje (CAG)
<input type="checkbox"/> Addition/La Añadidura (CAD)	<input type="checkbox"/> Carport/Cochera (CACP)
<input type="checkbox"/> Remodel/Remodelación (CRM)	<input type="checkbox"/> Accessory Building/Edificio Accesorio (CAB)
<input type="checkbox"/> Mechanical-Electrical/Mecánico-Electrónico (CME)	<input type="checkbox"/> Awning/Toldo (CAP)
<input type="checkbox"/> Plumbing-Gas/Plomería-Gas (CPL)	<input checked="" type="checkbox"/> Sign/Letras (CSGN)
<input type="checkbox"/> Re-Roof	<input type="checkbox"/> Fence/Wall
<input type="checkbox"/> Swimming Pool/Piscina (Hot Tub/Jacuzzi) (CSW)	<input type="checkbox"/> Other/Otro

Applicant/Solicitante (required/requerido)

Name/Nombre: Cynthia Del Risco

Phone/Teléfono: (480) 821-1100

Mailing Address/Dirección de Envío:

3144 N Colorado St.

City/Ciudad, State/Estado, Zip/Código postal:

Chandler AZ, 85225

E-Mail Address: permits@sarchandler.com

Property Owner(s) (if not Applicant(s))/Dueños de la Propiedad (si no es Solicitante):

Name/Nombre: Ron Broatich

Phone/Teléfono: (602) 885-1789

Mailing Address/Dirección de Envío:

N/A

City/Ciudad, State/Estado, Zip/Código postal:

N/A

E-Mail Address: ron@krafine.com

Agent/Agente (required if primary contact is different from Applicant)/

obligatoria si el contacto principal no es el Solicitante):

Name/Nombre: N/A

Phone/Teléfono: N/A

Mailing Address/Dirección de Envío:

N/A

City/Ciudad, State/Estado, Zip/Código postal:

N/A

E-Mail Address: N/A

Licence #/Número de Licencia: N/A

OFFICE USE ONLY

Date Application Received:

Received by:

Date Application Complete:

Completeness Review by:

Site Information for Planning & Zoning Compliance

Zoning District

Property Development Standards

Lot Area

Lot Width

Front Setback

Rear Setback

Side Setbacks

City Planner (designee) approval initials

Initials: _____

Commercial Building Permit/Permiso de Construcción Comercial

Existing/Existente	Proposed building amount, in square feet or linear feet, below.		
	Cantidad de construcción propuesta, en pies cuadrados o pies lineales, a continuación.		
	New Construction	Addition	Alteration/Remodel
	Nueva Construcción	Añadidura	Alteración/Remodelación
1st Floor/1er Piso			
2nd Floor/2do Piso			
Garage/Garaje (Storage/Trastero)			
Covered Porch/Ramada			
Deck/Plataforma			
Pylon Signage			58.99 Sq Ft
Tot. Sq. Ft./Pies Cuadrados: 58.99 Sq Ft	# Commercial Spaces:	# Stories/Pisos:	
Is this site served by sewer or an on-site septic system?		<input type="checkbox"/> Sewer <input type="checkbox"/> Septic	
Does this building have fire sprinklers throughout?		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Mechanical	<i>Include all new and relocated mechanical equipment and gas piping for project. Equipment not listed will not be included on permit. Separate permit and fees will be required.</i>		
Quantity	Description	CFM	Max. Output BTU/h
	50-99 CFM Fans		
	100 or > CFM Fans		
	Furnace		
	Fireplace		
	Gas Line Test/Inspect		
	Gas Water Heater		
	Air Conditioner		
	Heat Pump		
	Gas Dryer		
	Gas Range		
	Gas Piping Outlets		Valuation Mechanical

Electrical/Eléctrico
Indicate the number of each new and relocated fixture type in the space provided.

Panel Upgrade		PV Array (kW)	Outdoor Lighting/Illuminación Exterior		
100A 200A		Ground Roof	Wattage/Potencia		
300A 400A		# of Modules/Panels	Lumens	Shielded	Y/N
Wiring Upgrade		Ht. if Ground Mt.	Other Work:		
Circuit Upgrade		N E W S			
New Outlet		Square Footage	Valuation Electric		

Plumbing/Plomería
Indicate the number of each new and relocated fixture type in the space provided.

Bathtub		Hose Bibb		Electric Water Heater
Bathtub/Shower		Kitchen Sink		Water Service
Clotheswasher		Laundry Sink		Water Softener
Dishwasher		Service Sink		Other
Floor Drain		Shower		Repair
Hand Sink		Toilet		Valuation Plumbing

FEMA Floodplain Designation for Subject Site /

Designación de Llanura Aluvial de FEMA para el Sitio en Cuestión

Is the Subject Site located within a FEMA-designated floodplain zone? / ¿El Sitio en Cuestión está ubicado dentro de una zona de llanura aluvial designada por FEMA?	YES/SÍ	NO/NO	UNSURE/ASEGURAR
---	--------	-------	-----------------

If you circled YES, please include documentation such as a flood elevation certificate or flood insurance policy for the Subject Site with your application. If the Subject Site is located within a FEMA-designated floodplain zone, a State-registered civil engineer or registered surveyor will be needed to prepare documentation of flood elevations for any existing and proposed structures on the Subject Site for review by the City Engineer.

Si marcó con un círculo SÍ, incluya documentación como un certificado de elevación de inundaciones o una póliza de seguro contra inundaciones para el Sitio en Cuestión con su solicitud. Si el Sitio en Cuestión está ubicado dentro de una zona de llanura aluvial designada por FEMA, se necesitará un ingeniero civil registrado por el Estado o un topógrafo registrado para preparar la documentación de las elevaciones de inundación para cualquier estructura existente y propuesta en el Sitio en Cuestión para su revisión por parte del Ingeniero de la Ciudad.

Overlay Regulations Adoption for Subject Site / Adopción de Regulaciones Superpuestas para el Sitio en Cuestión

If you own the Subject Site and it is located within an Overlay Zoning District, please circle if you wish to adopt the regulations of that Overlay,	MUI	IC-R	IC-C	IC-MU
Si es propietario del Sitio en cuestión y está ubicado dentro de un Distrito de Zonificación Superpuesto, marque con un círculo si desea adoptar las regulaciones de esa Superposición.	RUM	R-Cl	C-Cl	UM-Cl
Owner Signature/Firma del Dueño:		Date/Fecha:		
Applicant/Solicitante	<input type="checkbox"/> Owner/Dueño	<input type="checkbox"/> Owner's Agent/Agente del Dueño	<input type="checkbox"/> Contractor/Contratista	<input type="checkbox"/> Contractor's Agent/Agente del Contratista

CERTIFICATION OF COMPLIANCE / Certificación de Cumplimiento

I certify that I have read this application and declare under penalty of perjury that the information contained herein is correct and complete. I agree to comply with all city and county ordinances, as well as Federal and State laws relating to building construction and hereby authorize representatives of this city to enter upon the above mentioned property for inspection purposes. I am either the owner of the property described on this permit application, the Arizona State registered contractor responsible for the work, or I represent the owner or contractor as signified above and am acting with the owner's/contractor's full knowledge or consent.

Certifico que he leído esta solicitud y declaro bajo pena de perjurio que la información aquí contenida es correcta y completa. Acepto cumplir con todas las ordenanzas y leyes estatales de la ciudad y el condado relacionadas con la construcción de edificios y por la presente autorizo a los representantes de esta ciudad a ingresar a la propiedad mencionada anteriormente para fines de inspección. Soy el propietario de la propiedad descrita en esta solicitud de permiso, el contratista registrado en el estado de Arizona responsable del trabajo, o represento al propietario o contratista como se indica anteriormente y actuó con pleno conocimiento o consentimiento del propietario/contratistas.



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Commercial Building Permit Application Checklist/

Lista de Verificación de Solicitud de Permiso de Construcción Comercial

All plans must be completed and clearly legible. Note on plans whether an item is existing or proposed.

Todos los planos deben estar completos y claramente legibles. Anote en los planos si un artículo existe o se propone.

Site Address/Dirección del Sitio : The address or parcel number where work will be done/La dirección o número de parcela donde se realizará el trabajo.

Esl. Project Value/Valor Estimado del Proyecto : Usually the cost of construction materials and labor/Por lo general, el costo de los materiales de construcción y mano de obra.

REQUIRED FOR ALL COMMERCIAL BUILDING PERMIT APPLICATIONS/

REQUERIDO PARA TODAS LAS SOLICITUDES DE PERMISO DE EDIFICIO COMERCIAL :

SITE PLAN Details/PLAN DE SITIO Detalles

- 1. Site Address, Legal Description, and Parcel Number/Dirección del Sitio, Descripción Legal y Número de Parcela.
- 2. North Arrow/Flecha Norte.
- 3. Engineering Scale at 1 in. = 10 ft, or 20 ft./Escala de Ingeniería a 1 pulg. = 10 pies o 20 pies.
- 4. All property lines with dimensions in U.S. feet and inches/Todas las líneas de propiedad con dimensiones en pies y pulgadas estadounidenses.
- 5. Show locations, uses, and dimensions of all proposed and existing structures on site, including distances from property lines and other buildings/Mostrar ubicaciones, usos y dimensiones de todas las estructuras propuestas y existentes en el sitio. Incluidas las distancias desde los límites de la propiedad y otros edificios.
- 6. Location of all easements for access and utilities, if applicable/Ubicación de todas las servidumbres de acceso y servicios públicos, si corresponde.
- 7. Name(s) of any street(s) adjoining the project site/Nombre(s) de cualquier calle(s) contigua(s) al sitio del proyecto.
- 8. Existing and proposed driveway, curbing and sidewalk with surface materials noted/Calzada existente y propuesta, bordillo y acera con materiales de superficie anotados.
- 9. Location, height, and material of walls and fences/Ubicación, altura y material de muros y cercas.

GRADING & DRAINAGE PLAN Details/PLAN de NIVELACIÓN Y DRENAJE Detalles

- 1. **Drainage Facilities Plan** showing direction of drainage on the property and location, depth, and width of all drainage ways or washes/Plano de Instalaciones de Drenaje que muestre la dirección del drenaje en la propiedad y la ubicación, la profundidad y el ancho de todas las vías de drenaje o lavados.

<input type="checkbox"/>	GRADING & DRAINAGE PLAN Details continued/PLAN de NIVELACIÓN Y DRENAJE Detalles continuación
<input type="checkbox"/>	<p>2. Show all floodplain and drainage requirements/Mostrar todos los requisitos de llanuras aluviales y drenaje .</p> <p>3. Retention/Detention Basin Plan showing location and dimensions with relation to drainage ways or washes/ Plano de la Cuenca de Retención/Detención que muestra la ubicación y las dimensiones con relación a las vías de drenaje o lavados.</p>
<input type="checkbox"/>	LANDSCAPING & LIGHTING PLAN Details/PLAN de PAISAJISMO E ILUMINACIÓN Detalles
<input type="checkbox"/>	<p>1. Landscaping Plan to include the location, size, common name, and scientific name of all landscaping materials/ Plan de Paisajismo que incluya la ubicación, el tamaño, el nombre común y el nombre científico de todos los materiales de paisajismo .</p> <p>2. Location and type of irrigation system/Ubicación y tipo de sistema de riego .</p> <p>3. Where applicable for controlling noise and light pollution, provide location and type of buffer zone/ Cuando corresponda para controlar la contaminación acústica y lumínica, proporcione la ubicación y el tipo de zona de amortiguamiento .</p> <p>4. Site screening location(s) and materials/Ubicación(es) y materiales de evaluación del sitio.</p>
<input type="checkbox"/>	<p>5. Where applicable, location and arrangement of all open space, common recreational space, and private open space/ Cuando corresponda, ubicación y disposición de todos los espacios abiertos, espacios recreativos comunes y espacios abiertos privados .</p>
<input type="checkbox"/>	<p>6. Location and type of fixture of any outdoor lighting, with shielding as required/Ubicación y tipo de luminaria de cualquier iluminación exterior, con blindaje según sea necesario .</p>
<input type="checkbox"/>	CONSTRUCTION PLAN Details/PLAN de CONSTRUCCIÓN Detalles
<input type="checkbox"/>	<p>1. Floor Plan showing dimensions of the exterior and interior features (rooms, windows, doors, fixtures) of the proposed structure(s) to be permitted/ Plano de Planta que muestre las dimensiones del exterior y el interior (habitaciones, ventanas, puertas, accesorios) de la(s) estructura(s) propuesta(s) que se permitirá(n) .</p> <p>2. Foundation-Plumbing Plan showing dimensions of foundation, walls, and locations of water and wastewater lines, with construction notes/ Plano de Cimientos y Plomería que muestra las dimensiones de los cimientos, las paredes y las ubicaciones de las líneas de agua y aguas residuales, con notas de construcción .</p> <p>3. Roof Plan showing location and dimension of rafters, fascia, flyrafters, and trusses), in plan view and elevation showing pitch/ Plano del Techo que muestra la ubicación y la dimensión de las vigas, la imposta, las vigas flotantes y la/s armadura/s), en la vista en planta y el alzado que muestra la pendiente .</p>
<input type="checkbox"/>	<p>4. Elevations Plan showing dimensions of the proposed structure exterior elements from each direction, with materials of each surface/ Plano de Elevaciones que muestra las dimensiones de los elementos exteriores de la estructura propuesta desde cada dirección, con los materiales de cada superficie .</p>
<input type="checkbox"/>	<p>5. Section Details (in vertical) showing foundation and footing, wall and attic insulation/ Detalles de la Sección (en vertical) que muestran los cimientos y los cimientos, la pared y el aislamiento del ático .</p>

<input type="checkbox"/>	CONSTRUCTION PLAN Details continued/PLAN de CONSTRUCCIÓN Detalles continuado
	<input type="checkbox"/> 6. Electrical-Mechanical Plan showing locations of electrical outlets by type with voltages, lights/fans by types; heating-cooling system controls, and security and smoke alarm systems/ Plano Eléctrico-Mecánico que muestra la ubicación de los enchufes eléctricos por tipo con voltajes, luces/ventiladores por tipos, controles del sistema de calefacción y refrigeración y sistemas de alarma de seguridad y humo .



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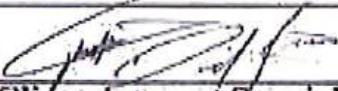
Contractor Affidavit*

Declaración Jurada del Contratista*

REQUIRED FOR ALL PERMIT APPLICATIONS/

REQUERIDO PARA TODAS LAS SOLICITUDES DE PERMISO :

I am an actively licensed contractor with the State of Arizona Registrar of Contractors (ROC).
Soy un contratista con licencia activa del Registro de Contratistas del Estado de Arizona (ROC)

Name/ Nombre	Cynthia Del Risco
Name of Business/ Nombre del Negocio	Signarama Chandler
ROC License Number / Número de Licencia del Registrador de Contratistas	151622
License Class(es)/ Clase(s) de Licencia	Class C-38
City Business License #/ Número de licencia comercial de la ciudad	07-542637-U
Signature and Date/ Firma y Fecha	
Title/Título	Client Account Specialist

Per A.R.S. §32-1121A.6, I will be using the following licensed contractors on this project:

Por A.R.S. §32-1121A.6, usará los siguientes contratistas autorizados en este proyecto:

General Contractor/ Contratista General

ROC License Number/ Número de Licencia del Registrador de Contratistas
License Class(es)/ Clase(s) de Licencia
City Business License #/ Número de licencia comercial de la ciudad
Signature & Date/ Firma y Fecha

Mechanical Contractor/ Contratista Mecánico

ROC License Number/ Número de Licencia del Registrador de Contratistas
License Class(es)/ Clase(s) de Licencia
City Business License #/ Número de licencia comercial de la ciudad
Signature & Date/ Firma y Fecha

**Electrical Contractor/
Contratista Eléctrico**

ROC License Number/ Número de Licencia del Registrador de Contratistas

License Class(es)/ Clase(s) de Licencia

City Business License #/
Número de licencia comercial de la ciudad

Signature & Date/ Firma y Fecha

Plumbing Contractor/

ROC License Number/ Número de Licencia del Registrador de Contratistas

License Class(es)/ Clase(s) de Licencia

City Business License #/
Número de licencia comercial de la ciudad

Signature & Date/ Firma y Fecha

EAST 5TH STREET

EAST 5TH STREET



99 East 5th Street
409-09303

400000304

95 East 6th Street
40909081B

100 East 5th

401 North Chin

AD
400 North Chiscahuá Road
400000161C

473050846

NORTH CHIRICAHUA ROAD

A circular UL logo with the letters 'UL' in the center, surrounded by the words 'UL LISTED' and 'UL' at the bottom. To the right of the logo is a vertical column of text.

DESIGN DRAWING 1 of 1
File No:3359
File Location:2.25
Designer:TRISTAN

This sign will be manufactured to meet safety standards with the UL Listed logo.
Manufacturers: Luminous Inc., and will be supplied with the UL Listed logo.
This sign is intended to be installed in accordance with the requirements of Article 600
of the National Electrical Code and/or applicable local codes. This indicates proper
mounting, connecting and bonding of all terminals and wires.
All information contained in this and subsequent documents are the sole property of Luminous.
Customer, any use or reproduction of such information is unauthorized without the documentation may
be used only for the purposes within these Specifications. © 2012, Luminous or any of its authorized agents.

CHANDLER Date: 2/27/25 Project Name: KRAAF, INC - BURGER KING

OFFICE PHONE NUMBER - 480.821.1100

EAST 5TH STREET

EAST 5TH STREET

— PYLON LOCATION



99 East 5th Street

40909080B

40909080F

101 East 5
4090999 East 5th Street
40909081D85 East 5th Street
40909081B401 North Chir
40909081C

40909080C

400 North Chiricahua Road
40909081C

40909084C

DESIGN DRAWING 1 of 1
File No: 3359
File Location: 2:25
 Designer: TRISTAN



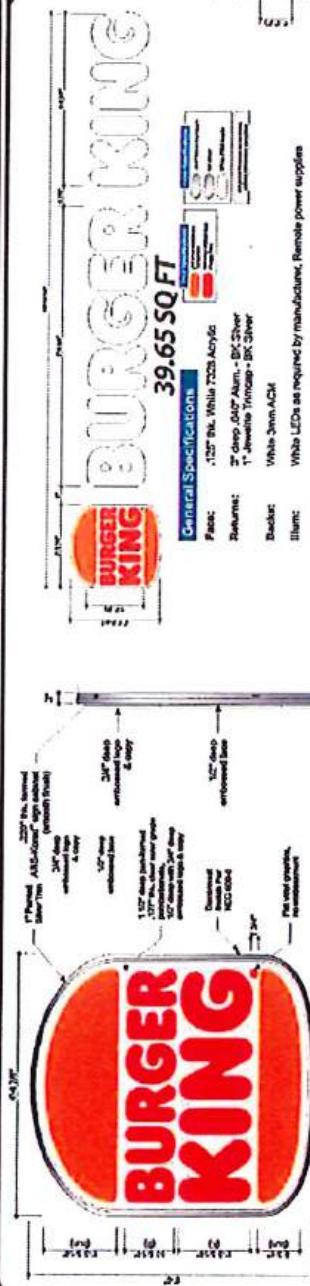
This sign will be manufactured to meet the needs of Standard specified by Underwriters Laboratories Inc. and will be shipped with the UL Listed Page.

This sign is intended to be mounted in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This sign must be grounded and mounted in accordance with the sign.

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Toll T. Bent



39.65 SQ FT

General Specifications

Face: 125" Blk. White T23 Acrylic
 Rebar: 1" x 10" Alum. - 10' Steer
 Jewels: 1" Jewels Trim - 10' Steer
 Backer: White 3mm Acrylic
 Wall Type: White LCDs as required by manufacturer. Remote power supply
 Pending Location: Installed using min. 3/8" all threaded fasteners (or equivalent equipment) and wood blocking as required
 Circuit: Actual # of Circuits: 0.25 determined by Listed Electrical Contractor.
 (1) 20 ACP Circuit, 120 Volts

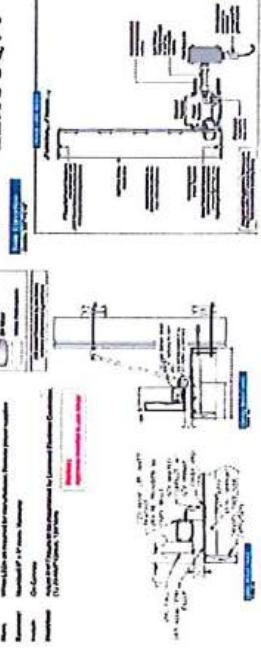
22.8 SQ FT

General Specifications

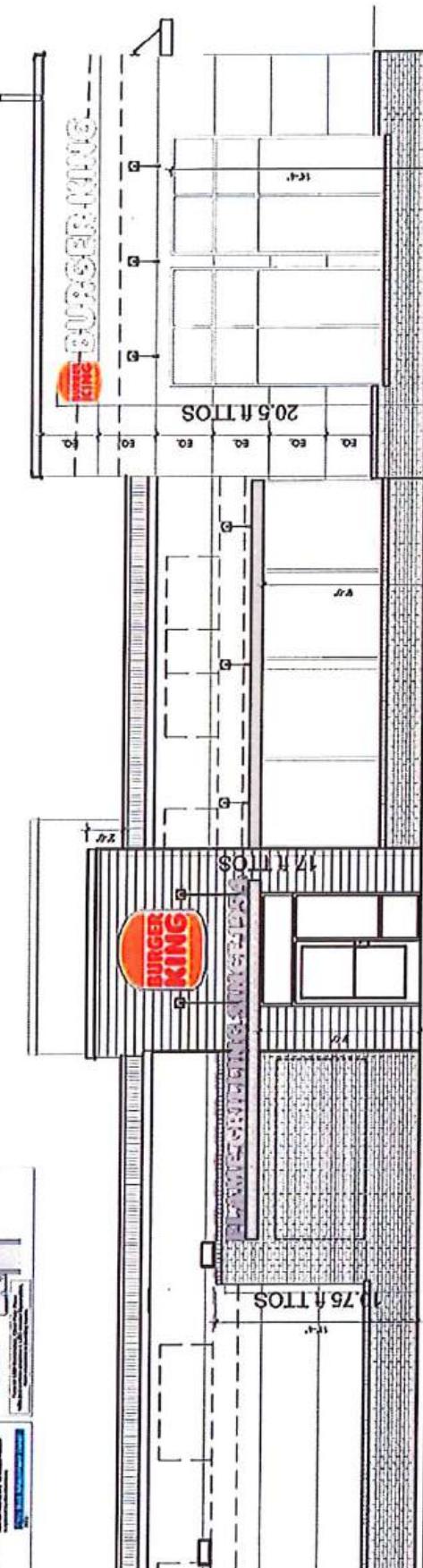
Face: 1.0" Clear backlit, 1777 Blk. Clear glass polycarbonate
 Opener: 2nd surface white UVG Diffusion, Back Litoped (100%)
 Cabinet: 200% Tinted, Alu/Alum. sign carrier (month Blvd), with volume minimum engine lighting
 Glass: White LCDs as required by manufacturer. Confidential power supplier
 Circuit: Actual # of Circuits to be determined by Listed Electrical Contractor. (1) 20 ACP Circuit, 120 Volts
 Pending Location: Installed using min. 3/8" all threaded fasteners (or equivalent) and wood blocking as required

FLAME GRILLING SINCE 1954.

22.03 SQ FT



Side Elevation

Side Elevation
Detail Drawing

EAST ELEVATION - SIGNS A,B & C - 84.48 SQFT - 106 FT FRONTAGE



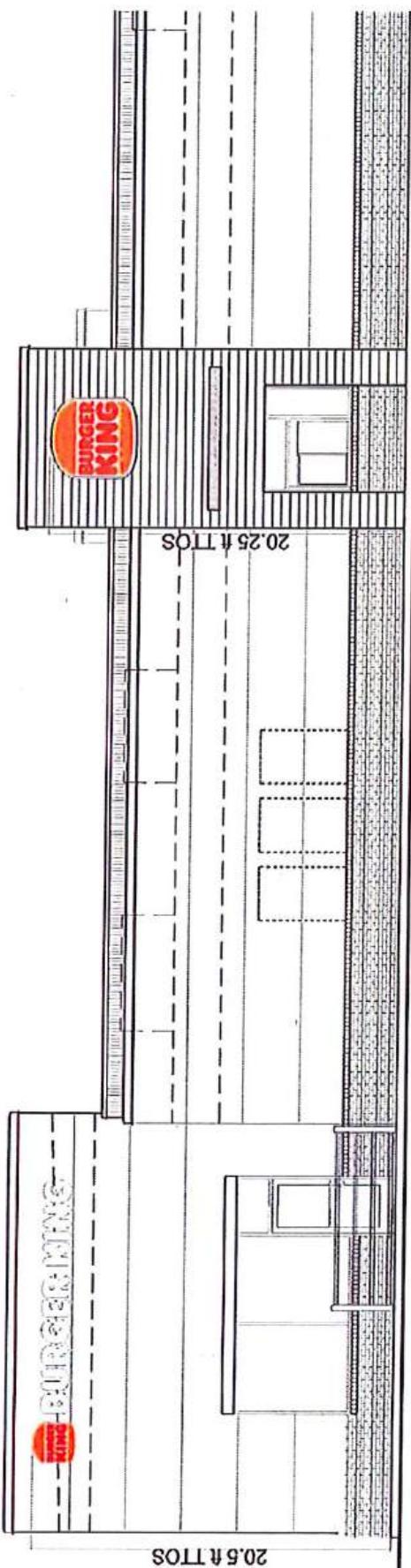
DESIGN DRAWING 1 of 1	
File No: 3359	File Location: 2.25
Designer: TRSTAN	
Comments: This sign will be manufactured in plant facility maintained by Uniforntech Laboratories Inc., and will be shipped from the U.S. Latin America. This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.	

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Chandler. Any use or retransmission without written permission of Signarama,
Chandler, or any of the entities shown above, is illegal. Copyright 2013
Signarama, Chandler, and Uniforntech Laboratories Inc.

KRAF, INC. - BURGER KING



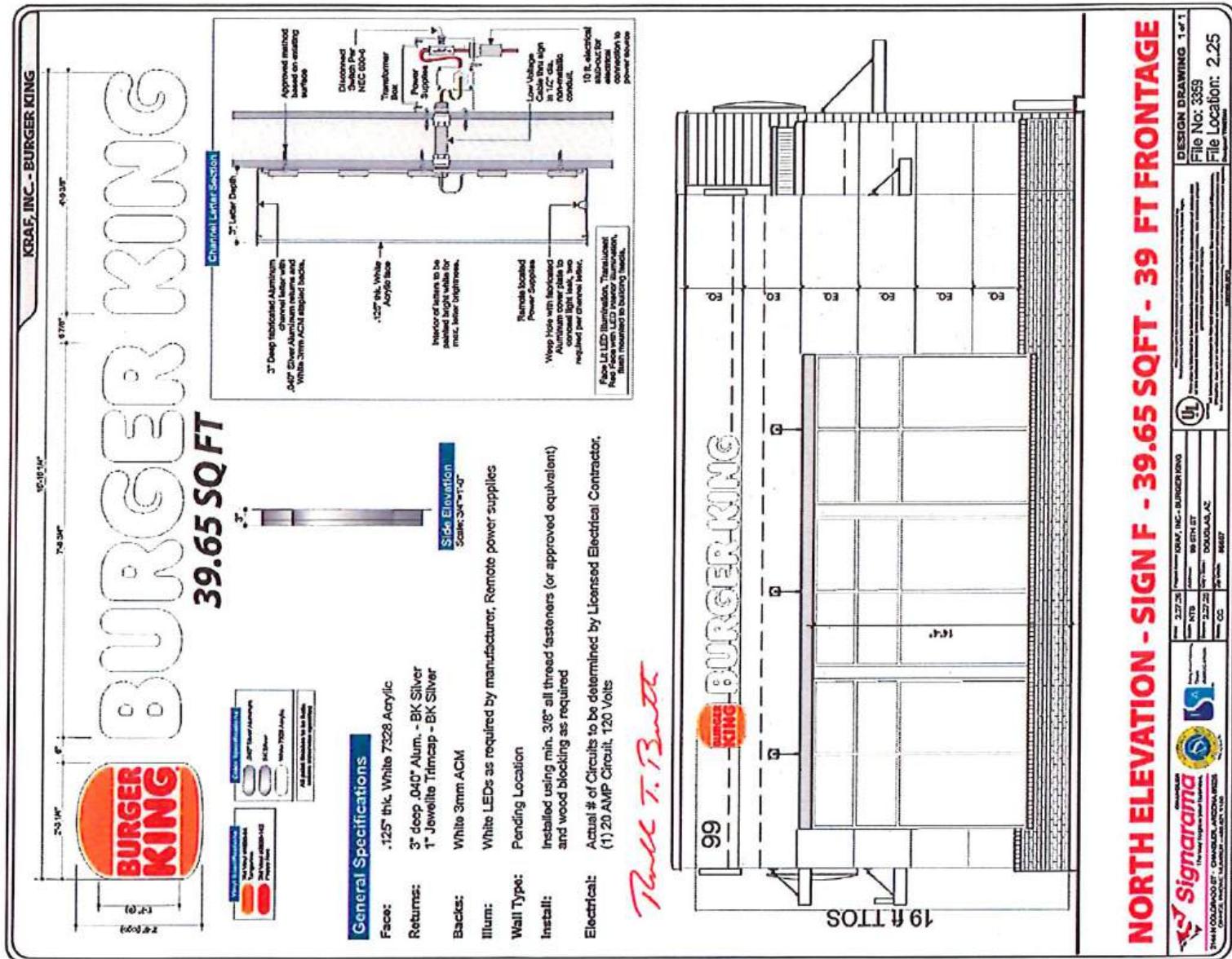
Mark T. Bent



WEST ELEVATION - SIGN D & E - 62.45 SQFT - 106 FT FRONTAGE

DESIGN DRAWING 1 of 1	
File No: 3359	File Location: 2.25
Designer: TRISTAN	
<p>This drawing will be administered by Underwriters Laboratories Inc. and will be included within UL Listed Page.</p> <p>This drawing is intended to be included in the requirements of Article 606 of the National Electrical Code and the requirements of the Underwriters Laboratories for listing and marking of the sign.</p> <p>Character. Any uses or modifications of said drawings or documents and the table of contents or tables, or any of the information contained in this drawing, shall be made only with the express written consent of Underwriters Laboratories, Character and/or any of the authorized agents.</p>	
Project Name: KRAF, INC. - BURGER KING	UL
Design: 2.27.25	Design: 2.27.25
Scale: NTS	Address: 99 5TH ST
Office: 2.27.25	City/State: DOUGLAS, AZ
Table: CGS	Zip Code: 85607





NORTH ELEVATION - SIGN F - 39.65 SQFT - 39 FT FRONTE

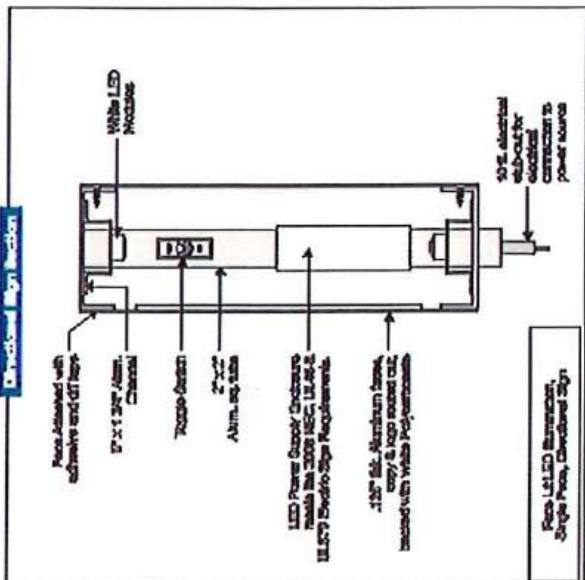
KRAF, INC. - BURGER KING

Miss T. Burt

A vertical rectangular sign with a black background and white text. The text 'Exit Only' is written in a large, bold, sans-serif font, oriented vertically. To the left of the sign, a dimension line with arrows at both ends indicates a width of 24". To the right, a dimension line indicates a height of 36". A scale bar at the bottom right shows a 12" length with a midpoint tick mark. The sign is mounted on a white wall. A blue vertical bar on the right edge of the frame contains the text 'Color Sheet' and 'Black'.

Power:	12VDC	12VDC
Current:	0.12Amp	0.12Amp
Dimensions:	2.5" x 2.5" x 1.5"	2.5" x 2.5" x 1.5"
Weight:	1.5 lbs	1.5 lbs
Warranty:	One Year	One Year

QTY:2



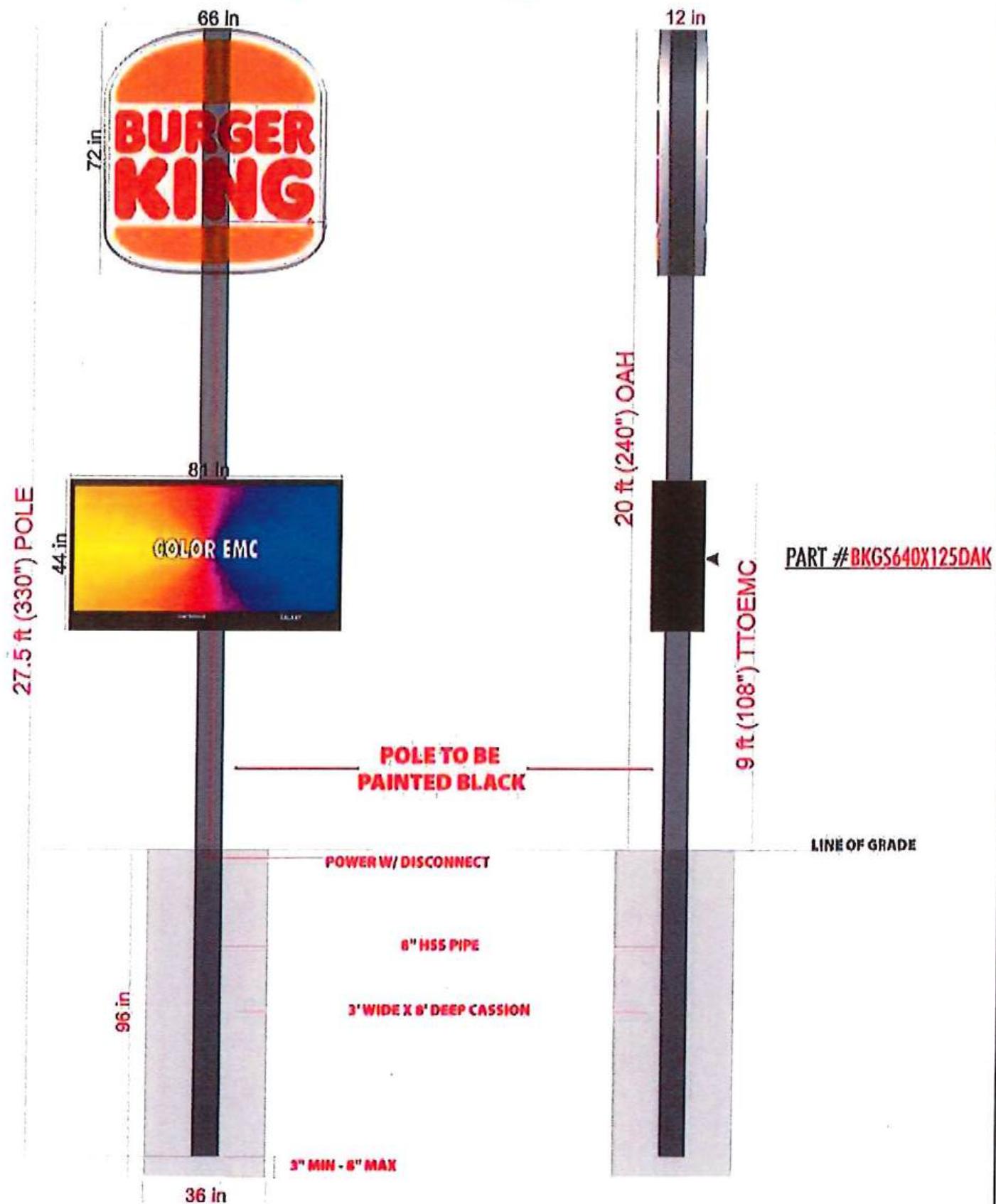
DRIVE-THRU - SIGN G & H - 24 SQFT

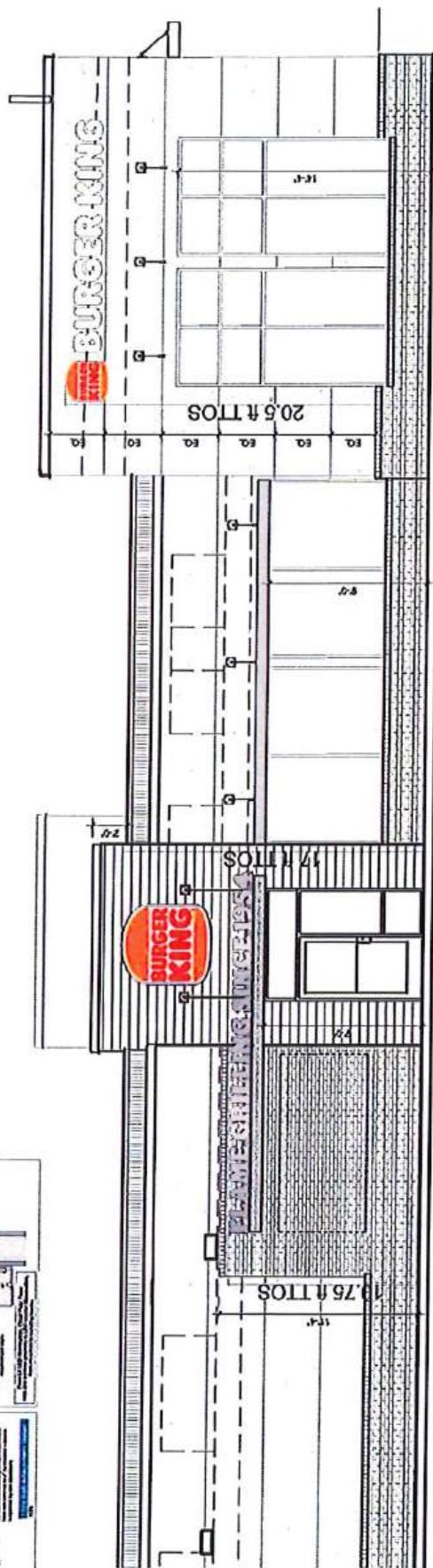


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Russell T. Booth

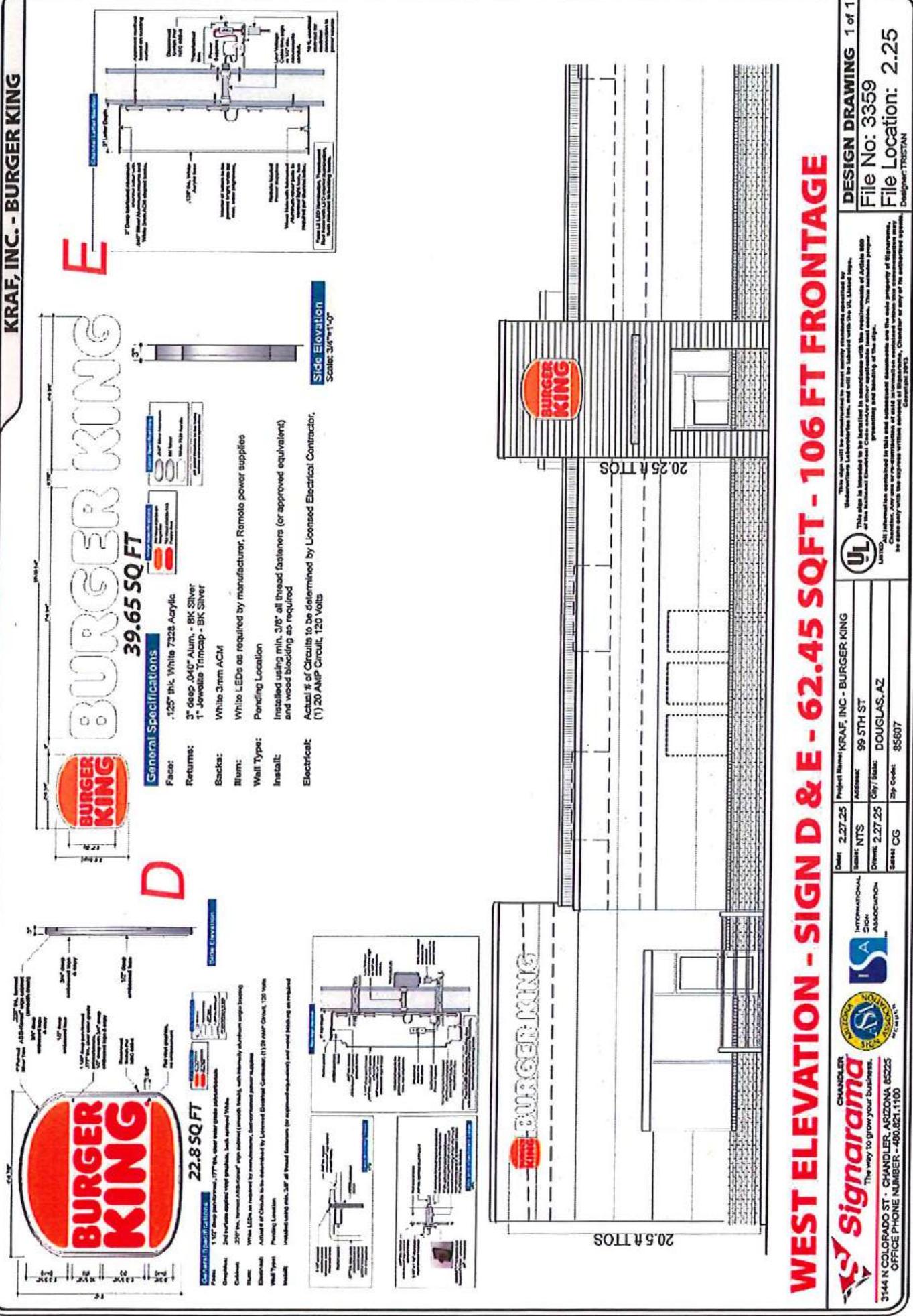
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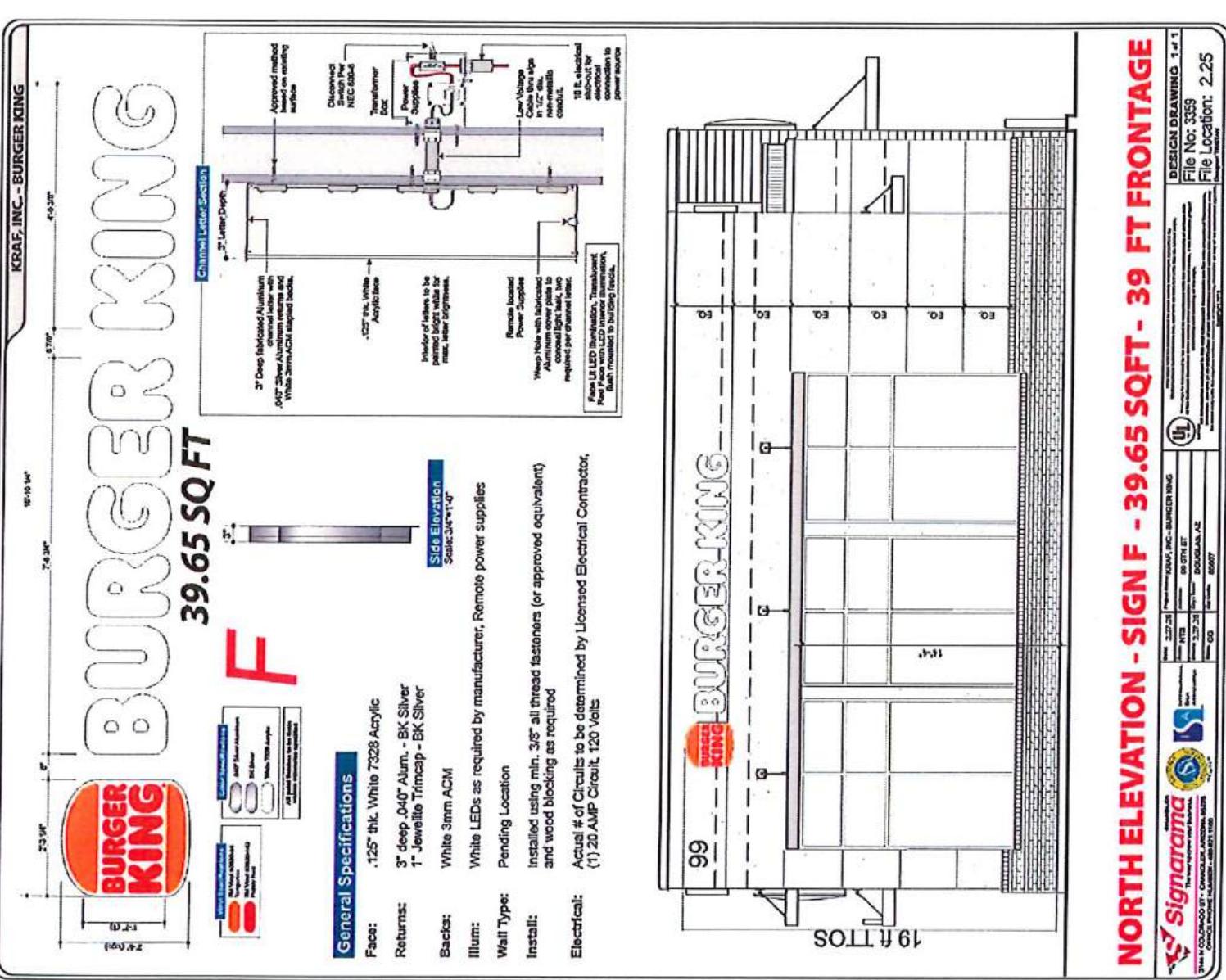




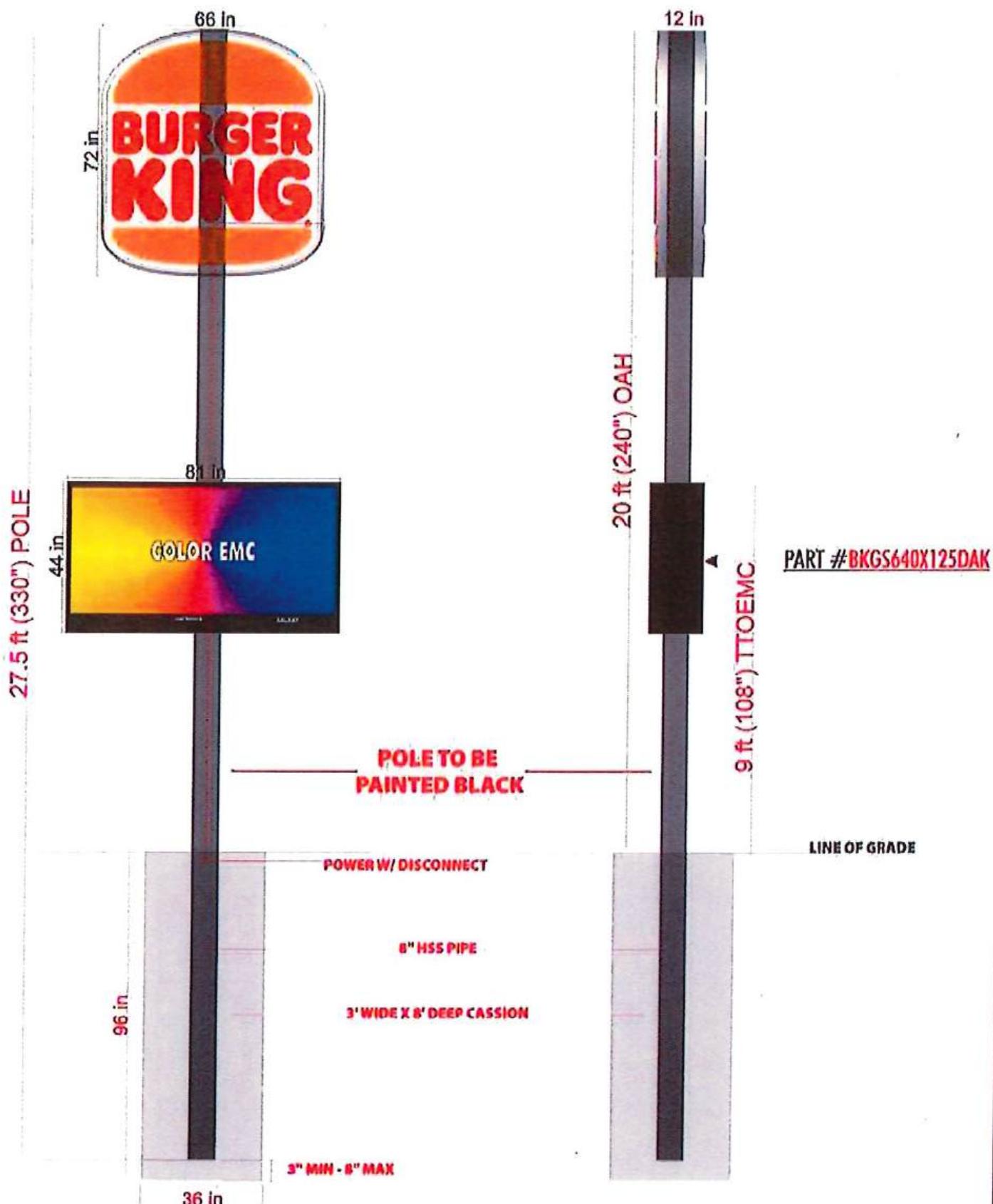
EAST ELEVATION - SIGNS A,B & C - 84.48 SQFT - 106 FT FRONTAGE







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ZCA-2025-01

Planning and Zoning Commission

October 2, 2025

Staff Report

INTRODUCTION

Staff is requesting a text amendment to Article 7 – *Supplementary District Regulations: Signs* of the City of Douglas Zoning Code. The proposed amendment seeks to update the existing sign regulations to better reflect modern signage practices and industry standards. Potential revisions include, but are not limited to, increasing allowable sign height and area, and providing greater flexibility in the number and types of permitted signs.

BACKGROUND

The current sign code is limited to two sign types, with standards for height and square footage that no longer align with contemporary needs. Staff has observed an increase in inquiries and requests for signage that exceed existing regulations, often requiring Special Use Permits. These frequent exceptions highlight the need to reevaluate the code to ensure it remains functional, fair, and adaptable to evolving signage practices.

PROPOSAL

- **Exhibit A:** Current provisions of Article 7 addressing signage.
- **Exhibit B:** Proposed redline revisions to the sign code.

POLICY CONSIDERATION

The proposed amendment seeks to:

- **Support Economic Development:** By providing businesses with greater flexibility in signage options, the amendment enhances visibility and competitiveness while attracting commercial activity.
- **Promote Clear and Consistent Standards:** Updating the code reduces ambiguity, streamlines the review process, and minimizes the need for Special Use Permits.
- **Enhance Community Character:** Revised standards will ensure signage contributes positively to the aesthetic quality of the City while accommodating modern design practices.
- **Improve Public Safety and Wayfinding:** Adjusting standards for sign placement, size, and design can enhance readability for motorists and pedestrians, supporting safe and effective communication.
- **Align with Contemporary Practices:** The amendment reflects evolving industry standards and technological advancements in signage, ensuring the City's regulations remain relevant and adaptable.



ZCA-2025-01

Planning and Zoning Commission

October 2, 2025

Staff Report

Attachment:

**Exhibit A: Current Provisions of Article 7 addressing
signage**

Exhibit B: Proposed Redline revisions to the sign code



Exhibit A: Current provisions of Article 7 addressing signage

ARTICLE 7.
SUPPLEMENTARY DISTRICT REGULATIONS—SIGNS

Sec. 701. Intent.

Signs are herein regulated in the interest of promoting traffic safety, safeguarding public health and comfort, facilitating police and fire protection and preventing adverse community appearance. Regulations are designed to permit maximum legibility and effectiveness of signs, and to prevent their over-concentration, improper placement, and excessive height, bulk and area.

Sec. 702. Permit required.

It shall be unlawful for any person, firm or corporation to erect, repair, alter, relocate or maintain within the City of Douglas any sign as defined in this Ordinance, except as hereinafter provided, without first obtaining a Building Permit for Sign from the Building Inspector. All illuminated signs shall, in addition, be subject to all provisions of the Electrical Code; Building Permits shall not be required for name plate signs, home occupation signs, real estate signs in residential districts, or for minor repair or painting of any permitted sign.

702.1 Application for Permit. In addition to information otherwise required for issuance of a Building Permit, application for a Building Permit for Sign shall include:

- (a) Position of sign in relation to nearby buildings or structures.
- (b) Two (2) blueprints of plans and specifications, including method of construction and attachment to the building or ground.
- (c) Structural calculations proving that the sign is designed for wind pressures in accordance with requirements of this Code may be required at the discretion of the building Inspector.
- (d) Name of person, firm or corporation erecting the sign.
- (e) Written consent of the owner of the building, structure or premises on which sign is to be erected.
- (f) Approval of all proposed wiring and connections of illuminated signs in compliance with the Electrical Code.

702.2 Issuance of Permits. If, upon examination of plan specifications and the premises on which erection of the sign is proposed, the Building Inspector finds that the proposed sign complies with all provisions of this Code and with all other ordinances of the City, he shall issue a Building Permit for Sign. If the work so authorized has not been completed within six (6) months thereafter, said permit shall automatically become null and void.

702.3 Liability Associated with Permit Issuance. The granting of a Building Permit shall not be deemed to be a permit for or approval of any violation of this Ordinance. The provisions of this Ordinance shall not be construed as relieving or limiting in any way the responsibility or liability of any person, firm or corporation, erecting or owning any sign, or resulting from the negligence or willful acts of such person, firm or corporation, or its agents, employees or workmen, in the construction, maintenance, repair or removal of any sign erected in accordance with a permit issued hereunder. Nor shall issuance of such permit be construed as imposing upon the City of Douglas or its officers or employees, any

responsibility or liability by reasons of the approval of any signs, material or devices under the provision of this Ordinance.

Sec. 703. General regulations.

The following general regulations regarding signs shall pertain to all zoning districts in the City of Douglas:

- (a) No sign shall be supported in whole or in part from any street, alley, sidewalk or other public right-of-way.
- (b) No part of any ground sign shall be erected within or project over any part of public street, alley or sidewalk.
- (c) Every sign and its supporting structure shall be designed and constructed to withstand a wind load of not less than forty (40) pounds per square foot of area.
- (d) Every sign and all parts of its supporting structure which are not constructed of galvanized or other rust-proofed metal shall be properly painted at least once every two (2) years.
- (e) No sign shall be erected, relocated or maintained so as to prevent free ingress to or egress from any door, window or fire escape, nor shall any sign be attached to a standpipe or fire escape.
- (f) No sign shall be erected or maintained at or near any intersection of streets in such a manner as to obstruct free and clear vision; or at any location where, by reason of its position, shape, color, or illumination, it may interfere with, obstruct the view of, or be confused with any authorized traffic sign, signal or device, or with any device mounted on a police or fire protection vehicle; or which makes use of the words, "STOP", "LOOK", "DANGER," or any other word, phrase, symbol or character in such manner as to interfere with mislead or confuse traffic, as determined by either building inspector, police department or city engineer.
- (g) Every illuminated sign shall be so placed as to prevent any light or reflection from being cast directly on any adjoining residential district.

Sec. 704. Measurement of signs.

The following standards shall be utilized in measuring the area of signs:

- (a) The area of signs composed of individual fabricated or painted letters mounted directly on a building façade without painted or other background shall be computed by measuring the squared-off area of individual letter.
- (b) For all other types of signs, the area shall include the entire area within a single continuous perimeter enclosing the extreme limits of the sign provided, however, that such perimeter shall not enclose any structural elements located outside the limits of the sign and not forming an integral part of the display.
- (c) The total square footage of all face surfaces of the spherical, double-faced or multi-faced sign shall not exceed twice the allowable square footage (sixty-four (64) square feet) of a single-faced sign.

Sec. 705. Exemptions.

The following signs shall conform to all other applicable provisions of this Code and shall be permitted in all districts in which the use identified or advertised is permitted.

- (a) Professional name plates not exceeding two (2) square feet in area.

- (b) Signs directing and guiding traffic and parking on private property in all districts but bearing no advertising matter, not to exceed three (3) square feet in area.
- (c) Traffic or other municipal signs, directional signs for hospitals or emergency services, of governmental agencies, legal notices, crossing signs and danger signals.
- (d) Memorial signs or tablets, names of buildings, and dates of erection when cut into any masonry surface or when constructed of bronze or other non-combustible material not to exceed eight (8) square feet in area.
- (e) Real estate signs in residential districts not exceeding three (3) square feet in area, which advertise the sale, rental or lease of the premises upon which said signs are located.
- (f) Signs for the purpose of directing the public to "open house" events, providing for sale, rental, or lease of premises other than upon which the sign is located provided said signs do not exceed three (3) in number and may remain for the life of the active development but in no instance for longer than two (2) years after the issuance of the building permit for the project being advertised. Said signs shall not be located in such a manner as to cause a public safety hazard or nuisance and further said signs may not exceed an area of six (6) square feet of display surface on each sign. Such signs shall not be located in the public right-of-way. Sign location on private property shall have the written approval of the property owner.
- (g) Sign for conditional uses permitted and approved under the provisions of the Code shall not exceed thirty-two (32) square feet in area and be located not closer than ten (10) feet to any adjoining lot.
- (h) One (1) temporary, non-illuminated sign for major projects under construction not exceeding thirty-two (32) square feet in area. Message limited to identification of architect, engineers, contractors, and other individuals or firms involved with the construction and the name of building, purpose for which intended and expected completion date and shall be removed within twenty (20) days after the certificate of occupancy is issued for the building.
- (i) Temporary political signs not exceeding sixteen (16) square feet advertising candidates or issues may be erected during the campaign for a period of sixty (60) days prior to the election in which such candidates or issues are to be voted upon. Such signs shall be removed not later than the 15th day following such election.
- (j) One (1) non-illuminated home occupation sign not exceeding two (2) square feet.
- (k) Temporary signs which are intended for use at grand openings of new businesses only and limited to a maximum period of fourteen (14) calendar days, size of this sign shall not exceed thirty-two (32) square feet. This includes banners, pennants, A-frame signs and inflated objects.
- (l) One (1) temporary sign per subdivision not exceeding thirty-two (32) square feet in area, message limited to the identification of the subdivision and its sales agent. Two (2) such signs are permitted if the subdivision is five (5) acres or larger or if the subdivision has more than one (1) street frontage. Such sign or signs may remain for the life of the active development, but in no instance for longer than two (2) years from the date approval of the subdivision.
- (m) Garage/Yard sale signs: Permission must be granted by property owners for sign posting on their property for garage sales occurring on another property.
 - (1) Such signs shall not exceed a total area of four (4) square feet. Only one (1) sign shall be displayed per street frontage.
 - (2) Such signs shall be removed within three (3) days after erecting.
 - (3) Such signs shall not be located in such a manner as to cause a public safety hazard or nuisance.

- (4) Such signs shall not be placed in public right-of-way or on utility poles or structures.
- (5) Such signs shall not be internally illuminated.
- (n) Future Development Sign: A sign that announces the proposed development of property, prior to the issuance of building permit.
 - (1) Such signs shall include copy identifying the name(s) of the project architect, developer and contractor.
 - (2) Such signs shall not exceed thirty-two (32) square feet in area or eight (8) feet in height.
 - (3) Such signs may be maintained for a period not to exceed twelve (12) months prior to obtaining building permits for a development and shall be removed prior to the issuance of a Certificate of Occupancy.
 - (4) Such signs shall not be internally illuminated.
 - (5) All such signs shall be located on the development site.
 - (6) Only one (1) sign shall be displayed per street frontage.
 - (7) Sign permit required.
- (o) Going Out of Business Sign: A sign indicating that the business displaying the sign will cease and be discontinued at a specific location.
 - (1) All businesses shall be permitted to display Going Out of Business signs on a one-time basis for a maximum of thirty (30) consecutive days.
 - (2) The business shall cease and be discontinued at that specific location upon the disposal of the stock of goods on hand or after thirty (30) days, whichever comes first after the Going Out of Business signage is first displayed.
 - (3) Vehicle-mounted and portable signs and flashing lights are prohibited from use as Going Out of Business signs.
 - (4) Sign permit required.
- (p) Window Signs: A sign or signage placed in windows so as to attract the attention of persons outside of the building where the sign or signage is placed.
 - (1) Window signage shall be limited to twenty-five percent (25%) of the total window area in which it is placed.
 - (2) Window signage shall not be placed above the ground floor of the building.
 - (3) No sign permit required.
- (q) One (1) temporary, non-illuminated sign per residential lot, not exceeding three (3) square feet in area per contractor or sub-contractor working on the lot, not to exceed six (6) square feet in aggregate area; provided, however, that each such sign shall be removed from the premises within twenty (20) days after completion of such construction or repairs.
- (r) Holiday lighting.

Sec. 706. Prohibited signs.

It shall be unlawful for any person to erect, display or maintain a sign or advertising structure falling within any of the following descriptions.

- (a) Moving signs or flashing signs or any signs or advertising structures which have any visible moving part or visible mechanical movement of any description or other apparent visible movement achieved by any means, including Intermittent electrical pulsation; excepting clocks, barber poles, public service Information signs, and time or temperature signs.
- (b) Signs which are obscene, hazardous to traffic, initiative of official government signs; (i.e., Stop, Danger, Caution, etc.) or obstructive to visibility so as to create a hazard to the public.
- (c) Windblown signs, such as posters, pennants, streamers, balloons or other inflated objects, except as provided for in Section 705(k) above.
- (d) Temporary signs except as permitted in Section 705.
- (e) Except for time and temperature signs, no reflective type bulb or power spot bulb shall be used for, on, or in a sign except as herein and otherwise provided. All lamps or bulbs exposed to direct view shall be limited to twenty-five (25) watts or less capacity. On time and temperature signs each bulb is limited to thirty-three (33) watts capacity. Strings of light bulbs and spotlights are included in this section, except for holiday decorations.
- (f) Off-premises signs including billboards, except as provided in Section 705(f).
- (g) No sign shall be erected in a residential zoning district containing information other than property numbers, post box numbers, names of occupants or premises, home occupations, or as hereinafter permitted in Section 708.
- (h) Sandwich signs or A boards.
- (i) Roof sign.
- (j) No sign shall be located less than six (6) feet horizontally or twelve (12) feet vertically from overhead electrical conductors which are energized in excess of four hundred forty (440) volts. Overhead conductor, used herein means any electrical conductor, either bare or insulated, installed above the ground, except such conductors that are enclosed in rigid iron conduit or other material covering of equal strength.
- (k) Any signs creating traffic safety problems determined by city engineer, building inspector or police department.

Sec. 707. Sign maintenance.

Any signage that has been approved or that has been issued a permit shall be maintained by the owner or person in possession of the property on which the sign is located.

Maintenance shall be such that the signage continues to conform to the conditions imposed by the sign permit.

- (a) Any damaged sign base shall be repaired within sixty (60) days.
- (b) Any metal pole covers and sign cabinets shall be kept free of rust and rust stains.
- (c) Any internally illuminated sign cabinets or sign panels, which have been damaged, shall remain un-illuminated until repaired.
- (d) Any signage, which has been damaged to such extent that they may pose a hazard to passersby, as determined by the Zoning Administrator, shall be repaired or removed immediately.
- (e) Legal non-conforming signage, which has been damaged to the extent of more than fifty percent (50%) of its reproduction value, shall be removed or altered so as to conform to the provisions of this Section.

- (f) When a business is discontinued at a specific location the owner shall be required to remove all the wall signs and free-standing signs (including the pole) on the premises within sixty (60) days of the discontinuation.
- (g) Failure to comply with these sign maintenance requirements shall constitute a violation of the City of Douglas Zoning Code.

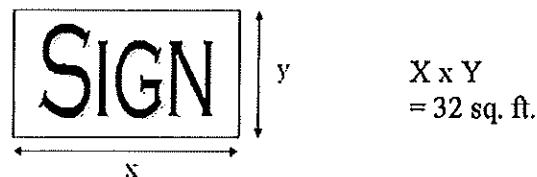
Sec. 708. Permitted signs, residential districts.

- (a) **One- and Two-Family Dwellings.** Message limited to property numbers, post box numbers, names of occupants of premises, or other identification of premises not having commercial connotations.
 - (1) Area. one (1) square foot.
 - (2) Height and/or Clearance. A sign consisting of numerals and letters identifying a property address shall not be less than four (4) inches in height and cannot exceed twelve (12) inches.
 - (3) No permit is required.
- (b) **Permanent subdivision signs.** Message limited to name of subdivision only.
 - (1) Area. The total surface of permanent subdivision signs shall have a maximum of thirty-two (32) square feet for each sign.
 - (2) Height and/or Clearance. The maximum height of the permanent subdivision sign shall be four (4) feet if not in conflict with any required clear vision area.
 - (3) Number. Permanent subdivisions are limited to one (1) free standing masonry wall sign at each entrance. All such signs shall require a landscape area equal to four (4) square feet for each square foot of sign area. This landscape area shall be located around the base of the sign. (Refer to Article 18, Section 1804 for landscape maintenance.)
 - (4) Prior to issuance of the building permit, the Building Inspector shall have on file a copy of an acceptable finding and agreement describing the maintenance responsibility for the subdivision sign.
- (c) **Permanent Multi-Family Dwellings.** Message limited to name of complex.
 - (1) >Free-standing Masonry Wall Sign.
 - (i) Area: A free-standing, permanent, sign is limited to two (2) square feet per dwelling unit to a maximum area of thirty-two (32) square feet. Sixteen (16) square feet per display surface if the sign has two display surfaces.
 - (ii) Height and/or Clearance: A free-standing sign is limited to a maximum height of six (6) feet.
 - (iii) Number: Permanent Multi-Family dwellings are limited to one (1) free-standing masonry wall sign. All such signs shall require a landscape area equal to four (4) square feet for each square foot of sign area. This landscape area shall be located around the base of the sign. (Refer to Article 18, Section 1804 for landscape maintenance.)
 - (iv) Location: No free-standing or any portion of any free-standing sign shall be located on or projected over any portion of the street, sidewalk, or other public right-of-way. No such sign shall be erected at the intersection of any street or driveway in the clear vision area of the traveling public as determined by the police department, building inspector or city engineer.
 - (2) Wall signs.
 - (i) Area: A permanent wall sign is limited to two (2) square feet per dwelling unit up to a maximum of thirty-two (32) square feet.

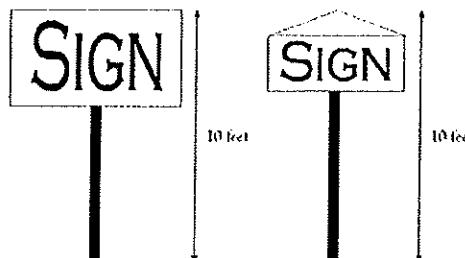
- (ii) Height and/or Clearance: The maximum height of any portion of the wall sign shall not exceed five (5) feet in height. No wall sign shall extend above the roof line at the wall or the top of a parapet wall, whichever is higher.
- (3) Prior to the issuance of the building permit, the Building Inspector shall have on file a copy of an acceptable agreement describing the maintenance responsibility for the multi-dwelling structures sign.
- (d) **Mobile Home and Trailer Parks.** Message limited to name of the park only.
 - (1) Area: The total surface of permanent sign shall have a maximum of thirty-two (32) square feet for a sign.
 - (2) Height and/or Clearance: The maximum height of the permanent park sign shall be four (4) feet if not in conflict with any required clear vision area.
 - (3) Number: Permanent parks are limited to one (1) free-standing masonry wall sign at each entrance. All such signs shall require a landscape area equal to four (4) square feet for each square foot of sign area. This landscape area shall be located around the base of the sign. (Refer to Article 18, Section 1804 for landscape maintenance.)
 - (4) Location: No free standing or any portion of any free standing sign shall be located on or projected over any portion of the street, sidewalk, or other public right-of-way. No such sign shall be erected at the intersection of any street or driveway in the clear vision area of the traveling public as determined by the police department, building inspector or city engineer.
 - (5) Prior to issuance of the building permit, the Building Inspector shall have on file a copy of an acceptable finding and agreement describing the maintenance responsibility for the sign.

Sec. 709. Signs permitted for nonresidential uses: NC, OP, GC, IP, LI, HI, and AA.

- (a) **Free-Standing Sign.**
 - (1) Area: The maximum permitted area of a free-standing sign shall be thirty-two (32) square feet per sign face.



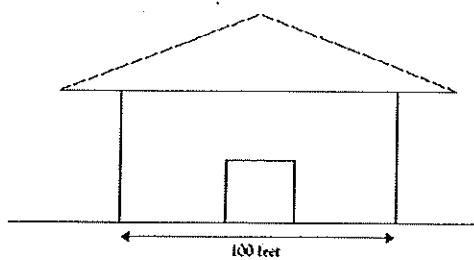
- (2) Height and/or Clearance: The maximum height of any portion of the sign structure shall be ten (10) feet as measured from the level of the main commercial floor of the primary structure.



- (3) Number: One (1) multi-faced free-standing sign identifying the business designating the principal goods, products, or facilities or services available on the premises shall be permitted.
- (4) Location: No free-standing or any portion of any free-standing sign shall be located on or projected over any portion of the street, sidewalk, or other public right-of-way. No such sign shall be erected at the intersection of any street or driveway in the clear vision area of the traveling public as determined by the police department, building inspector or city engineer.

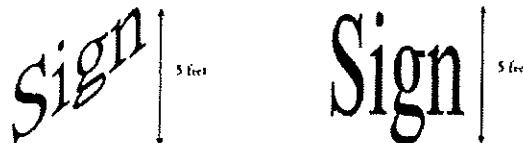
(b) Wall Sign.

- (1) Area: The maximum permitted area of a wall sign or wall signs shall not exceed one (1) square foot for each one (1) linear foot of primary building frontage or one (1) square foot for each five (5) feet of primary lot frontage; with the aggregate area of any wall signs plus any free-standing sign not to exceed the total obtained by one (1) square foot per one (1) linear square foot.



Example:
Aggregate area of
wall signs and free
standing signs
cannot exceed 100
sq. ft.

- (2) Height and/or Clearance: The maximum height of any portion of the wall sign shall not exceed five (5) feet in height. No wall sign shall extend above the roofline at the wall or the top of the parapet wall, whichever is higher.



- (3) Maximum Square Footage by Multiple Frontages: On buildings having more than one (1) street frontage, the maximum allowable number of square footage of on-site signs is permitted for each street frontage. Said maximum allowance, however, is not transferable either in whole or in part from one (1) building frontage to another, nor from one (1) occupancy to another occupancy.

709.1 Signs on Common Buildings. When one (1) or more attached signs are located on a building which is divided and contains more than one (1) business or use, the regulation of such attached signs as to size and projection shall apply separately to the part of the exterior walls which contain that business or use.

709.2 Street Address In Signs. All free-standing signs in commercial or industrial districts shall contain the street address in a size clearly legible from the street.

Sec. 710. Nonconforming signs.

A sign, including its supporting structure, shall be considered nonconforming when it does not conform to all or part of the provisions of this Article applicable thereto, is not a temporary sign and the sign:

- (a) Was in existence and lawfully located and used in accordance with the provisions of the prior ordinance applicable thereto or which was considered legally nonconforming thereunder and has since been in continuous or regular use; or
- (b) Was in existence, located and used on the premises at the time it was annexed into the City and has since been in regular and continuous use.

710.1 Destruction; Repair.

- (a) Any nonconforming portable, attached, or ground sign, including its supporting structure which is blown down, damaged, dilapidated or deteriorated, or otherwise destroyed or dismantled for any purpose other than maintenance operations or for changing the letters, symbols, or other matter on the sign, shall not be replaced, repaired, or renovated, in whole or in part, if the cost of such replacement, repair or renovation is in excess of sixty percent (60%) of the cost of erecting a new sign of the same type at the same location, including its supporting structure, unless such alteration or repair makes the sign conforming. No person shall repair, renovate, or alter a nonconforming sign without first receiving a sign permit.
- (b) No sign or supporting structure, which is lawfully reproduced, repaired or renovated as a nonconforming sign shall be increased in effective area or height.

Sec. 711. Special use permits.

In order to encourage and promote a harmonious relationship between buildings and signs, the Planning and Zoning Commission shall have the authority to issue a Special Use Permit for signs, which are designated into and are a part of an integrated architectural feature of a building where the provisions of the code would otherwise prohibit such signs.

- (a) A comprehensive sign plan may be submitted by the developers of proposed shopping centers, industrial parks, industrial and commercial subdivisions, hotel conference centers and other uses as approved by the Community Development Director. This plan shall include the location, size, height, lighting and orientation of all proposed signs, in addition to any other information deemed necessary. This sign plan may be submitted in conjunction with the required preliminary Site Plan for the development. If the comprehensive sign plan is found to be acceptable, exception to the provisions of this Code may be granted, if the sign areas and densities shown on the plan are in conformity with the intent of this Code and if such exceptions result in an improved relationship between the various parts of the plan.
- (b) The owners of sixty (60%) percent or more of the street frontage, in feet, or properties on both sides of the street in any defined area may petition the Planning and Zoning Commission for the creation of a special sign district for the purpose of creating an integrated special sign theme in the area. The Planning and Zoning Commission shall hold a public hearing on such a request after posting the property in question at least fifteen (15) days prior to the hearing, the Planning and Zoning commission shall make its recommendation to the City Council.

Sec. 712. Appeals.

Appeals procedure as set forth in Article 11, Section 1104.



Exhibit B: Proposed redline revisions to the sign code

ARTICLE 7. SUPPLEMENTARY DISTRICT REGULATIONS—SIGNS

Sec. 701. Intent.

Signs are herein regulated in the interest of promoting traffic safety, safeguarding public health and comfort, facilitating police and fire protection and preventing adverse community appearance. Regulations are designed to permit maximum legibility and effectiveness of signs, and to prevent their over-concentration, improper placement, and excessive height, bulk and area.

Sec. 702. Permit required.

It shall be unlawful for any person, firm or corporation to erect, repair, alter, relocate or maintain within the City of Douglas any sign as defined in this Ordinance, except as hereinafter provided, without first obtaining a Building Permit for Sign from the Building Inspector. All illuminated signs shall, in addition, be subject to all provisions of the Electrical Code; Building Permits shall also be required for electronic message boards, digital displays, and portable commercial signs exceeding six (6) square feet in area. Building Permits shall not be required for name plate signs, home occupation signs, real estate signs in residential districts, or for minor repair or painting of any permitted sign.

702.1 Application for Permit. In addition to information otherwise required for issuance of a Building Permit, application for a Building Permit for Sign shall include:

- (a) Position of sign in relation to nearby buildings or structures, adjacent sidewalks, and clear vision triangles.
- (b) Two (2) blueprints of plans and specifications, including method of construction and attachment to the building or ground.
- (c) Structural calculations proving that the sign is designed for wind pressures in accordance with requirements of this Code may be required at the discretion of the building inspector.
- (d) Name of person, firm or corporation erecting the sign.
- (e) Written consent of the owner of the building, structure or premises on which sign is to be erected.
- (f) Approval of all proposed wiring and connections of illuminated signs in compliance with the Electrical Code.

(g) For electronic signs, provide brightness, color, and animation specifications, and include methods for preventing glare or distraction to traffic.

702.2 Issuance of Permits. If, upon examination of plan specifications and the premises on which erection of the sign is proposed, the Building Inspector finds that the proposed sign complies with all provisions of this Code and with all other ordinances of the City, he or she shall issue a Building Permit for Sign. If the work so authorized has not been completed within six (6) months thereafter, said permit shall automatically become null and void.

702.3 Liability Associated with Permit Issuance. The granting of a Building Permit shall not be deemed to be a permit for or approval of any violation of this Ordinance. The provisions of this Ordinance shall not be construed as relieving or limiting in any way the responsibility or liability of any person, firm or corporation, erecting or owning any sign, or resulting from the negligence or willful acts of such person, firm or corporation, or its agents, employees or workmen, in the construction maintenance, repair or removal of any sign erected in accordance with a permit issued here under. Nor shall issuance of such permit be construed as imposing upon the City of Douglas or its officers or employees any responsibility or liability by reason of the approval of any signs, material or devices under the provision of this Ordinance. This includes electronic or digital signs, which must remain compliant with safety and visibility standards.

Sec. 703. General regulations.

The following general regulations regarding signs shall pertain to all zoning districts in the City of Douglas:

- (a) No sign shall be supported in whole or in part from any street, alley, sidewalk or other public right-of-way.
- (b) No part of any ground sign shall be erected within or project over any part of public street, alley or sidewalk.
- (c) Every sign and its supporting structure shall be designed and constructed to withstand a wind load of not less than forty (40) pounds per square foot of area, with additional reinforcement for signs exceeding 20 square feet or electronic display signs.
- (d) Every sign and all parts of its supporting structure which are not constructed of galvanized or other rust-proofed metal shall be properly painted at least once every two (2) years.
- (e) No sign shall be erected, relocated or maintained so as to prevent free ingress to or egress from any door, window or fire escape, nor shall any sign be attached to a standpipe or fire escape.
- (f) No sign shall be erected or maintained at or near any intersection of streets in such a manner as to obstruct free and clear vision, or create visual distraction for motorists from electronic signage or at any location where, by reason of its position, shape, color, or illumination, it may interfere with, obstruct the view of, or be confused with any authorized traffic sign, signal or device, or with any device mounted on a police or fire protection vehicle; or which makes use of the words, "STOP", "LOOK", "DANGER," or any other word, phrase, symbol or character in such manner as to interfere with, mislead or confuse traffic, as determined by either building inspector, police department or city engineer.
- (g) Every illuminated sign shall be so placed as to prevent any light or reflection from being cast directly on any adjoining residential district. Digital and electronic signs shall automatically dim between sunset and sunrise or when traffic conditions require, consistent with best practices.

Sec. 704. Measurement of signs.

The following standards shall be utilized in measuring the area of signs:

- (a) The area of signs composed of individual fabricated or painted letters mounted directly on a building façade without painted or other background shall be computed by measuring the squared-off area of individual letter.
- (b) For all other types of signs, the area shall include the entire area within a single continuous perimeter enclosing the extreme limits of the sign provided, however, that such perimeter shall not enclose any

structural elements located outside the limits of the sign and not forming an integral part of the display.

(c) The total square footage of all face surfaces of the spherical, double-faced or multi-faced sign shall not exceed twice the allowable square footage (sixty-four (64) square feet) of a single-faced sign, unless approved by Special Use Permit for commercial districts.

Sec. 705. Exemptions.

The following signs shall conform to all other applicable provisions of this Code and shall be permitted in all districts in which the use identified or advertised is permitted.

- (a) Professional name plates not exceeding two (2) square feet in area.
- (b) Signs directing and guiding traffic and parking on private property in all districts but bearing no advertising matter, not to exceed three (3) square feet in area.
- (c) Traffic or other municipal signs, directional signs for hospitals or emergency services, of governmental agencies, legal notices, crossing signs and danger signals.
- (d) Memorial signs or tablets, names of buildings, and dates of erection when cut into any masonry surface or when constructed of bronze or other non-combustible material not to exceed eight (8) square feet in area.
- (e) Real estate signs in residential districts not exceeding three (3) square feet in area, which advertise the sale, rental or lease of the premises upon which said signs are located.
- (f) Signs for the purpose of directing the public to "open house" events, providing for sale, rental, or lease of premises other than upon which the sign is located provided said signs do not exceed three (3) in number and may remain for the life of the active development but in no instance for longer than two (2) years after the issuance of the building permit for the project being advertised. Said signs shall not be located in such as manner as to cause a public safety hazard or nuisance and further said signs may not exceed an area of six (6) square feet of display surface on each sign. Such signs shall not be located in the public right-of-way. Sign location on private property shall have the written approval of the property owner.
- (g) Sign for conditional uses permitted and approved under the provisions of the Code shall not exceed thirty-two (32) square feet in area and be located not closer than ten (10) feet to any adjoining lot.
- (h) One (1) temporary, non-illuminated sign for major projects under construction not exceeding thirty-two (32) square feet in area. Message limited to identification of architect, engineers, contractors, and other individuals or firms involved with the construction and the name of building, purpose for which intended and expected completion date and shall be removed within twenty (20) days after the certificate of occupancy is issued for the building.
- (i) Temporary political signs not exceeding sixteen (16) square feet advertising candidates or issues may be erected during the campaign for a period of sixty (60) days prior to the election in which such candidates or issues are to be voted upon. Such signs shall be removed not later than the 15th day following such election.
- (j) One (1) non-illuminated home occupation sign not exceeding two (2) square feet.
- (k) Temporary signs which are intended for use at grand openings of new businesses only and limited to a maximum period of fourteen (14) calendar days, size of this sign shall not exceed thirty-two (32) square feet. This includes banners, pennants, A-frame signs and Inflated objects.

- (l) One (1) temporary sign per subdivision not exceeding thirty-two (32) square feet in area, message limited to the identification of the subdivision and its sales agent. Two (2) such signs are permitted if the subdivision is five (5) acres or larger or if the subdivision has more than one (1) street frontage. Such sign or signs may remain for the life of the active development, but in no instance for longer than two (2) years from the date approval of the subdivision.
- (m) Garage/Yard sale signs: Permission must be granted by property owners for sign posting on their property for garage sales occurring on another property.
 - (1) Such signs shall not exceed a total area of four (4) square feet. Only one (1) sign shall be displayed per street frontage.
 - (2) Such signs shall be removed within three (3) days after erecting.
 - (3) Such signs shall not to be located in such a manner as to cause a public safety hazard or nuisance.
 - (4) Such signs shall not be placed in public right-of-way or on utility poles or structures.
 - (5) Such signs shall not be internally illuminated.
- (n) Future Development Sign: A sign that announces the proposed development of property, prior to the issuance of building permit.
 - (1) Such signs shall include copy identifying the name(s) of the project architect, developer and contractor.
 - (2) Such signs shall not exceed thirty-two (32) square feet in area or eight (8) feet in height.
 - (3) Such signs may be maintained for a period not to exceed twelve (12) months prior to obtaining building permits for a development and shall be removed prior to the issuance of a Certificate of Occupancy.
 - (4) Such signs shall not be internally illuminated.
 - (5) All such signs shall be located on the development site.
 - (6) Only one (1) sign shall be displayed per street frontage.
 - (7) Sign permit required.
- (o) Going Out of Business Sign: A sign indicating that the business displaying the sign will cease and be discontinued at a specific location.
 - (1) All businesses shall be permitted to display Going Out of Business signs on a one-time basis for a maximum of thirty (30) consecutive days.
 - (2) The business shall cease and be discontinued at that specific location upon the disposal of the stock of goods on hand or after thirty (30) days, whichever comes first after the Going Out of Business signage is first displayed.
 - (3) Vehicle-mounted and portable signs and flashing lights are prohibited from use as Going Out of Business signs.
 - (4) Sign permit required.
- (p) Window Signs: A sign or signage placed in windows so as to attract the attention of persons outside of the building where the sign or signage is placed.
 - (1) Window signage shall be limited to twenty-five percent (25%) of the total window area in which it is placed.
 - (2) Window signage shall not be placed above the ground floor of the building.

- (3) No sign permit required.
- (q) One (1) temporary, non-illuminated sign per residential lot, not exceeding three (3) square feet in area per contractor or sub-contractor working on the lot, not to exceed six (6) square feet in aggregate area; provided, however, that each such sign shall be removed from the premises within twenty (20) days after completion of such construction or repairs.
- (r) Holiday lighting.

Sec. 706. Prohibited signs.

It shall be unlawful for any person to erect, display or maintain a sign or advertising structure falling within any of the following descriptions.

- (a) Moving signs or flashing signs or any signs or advertising structures which have any visible moving part ~~or visible mechanical movement of any description or other apparent visible movement achieved by any means, including intermittent electrical pulsation; excepting clocks, barber poles, public service information signs, and time or temperature signs, including LED message boards and animated signs, except for time, temperature, and public service information displays specifically approved under a permit.~~
- (b) Signs which are obscene, hazardous to traffic, initiative of official government signs; (i.e., Stop, Danger, Caution, etc.) or obstructive to visibility so as to create a hazard to the public ~~or otherwise likely to confuse motorists or pedestrians.~~
- (c) Windblown signs, such as posters, pennants, streamers, balloons or other inflated objects, except as provided for in Section 705(k) above.
- (d) Temporary signs except as permitted in Section 705.
- (e) Except for time and temperature signs, no reflective type bulb or power spot bulb shall be used for, on, or in a sign except as herein and otherwise provided. All lamps or bulbs exposed to direct view shall be limited to twenty-five (25) watts or less capacity. On time and temperature signs each bulb is limited to thirty-three (33) watts capacity. Strings of light bulbs and spotlights are included in this section, except for holiday decorations.
- (f) Off-premises signs including billboards, ~~except as provided in Section 705(f), unless specifically permitted under a Special Use Permit.~~
- (g) No sign shall be erected in a residential zoning district containing information other than property numbers, post box numbers, names of occupants or premises, home occupations, or as hereinafter permitted in Section 708.
- (h) Sandwich signs or A boards.
- (i) Roof sign.
- (j) No sign shall be located less than six (6) feet horizontally or twelve (12) feet vertically from overhead electrical conductors which are energized in excess of four hundred forty (440) volts. Overhead conductor, used herein means any electrical conductor, either bare or insulated, installed above the ground, except such conductors that are enclosed in rigid iron conduit or other material covering of equal strength.
- (k) Any signs creating traffic safety problems determined by city engineer, building inspector or police department.

Sec. 707. Sign maintenance.

Any signage that has been approved or that has been issued a permit shall be maintained by the owner or person in possession of the property on which the sign is located.

Maintenance shall be such that the signage continues to conform to the conditions imposed by the sign permit.

- (a) Any damaged sign base shall be repaired within sixty (60) days.
- (b) Any metal pole covers and sign cabinets shall be kept free of rust and rust stains.
- (c) Any internally illuminated sign cabinets or sign panels, which have been damaged, shall remain un-illuminated until repaired.
- (d) Any signage, which has been damaged to such extent that they may pose a hazard to passersby, as determined by the Zoning Administrator, shall be repaired or removed immediately.
- (e) Legal non-conforming signage, which has been damaged to the extent of more than fifty percent (50%) of its reproduction value, shall be removed or altered so as to conform to the provisions of this Section.
- (f) When a business is discontinued at a specific location the owner shall be required to remove all the wall signs and free-standing signs (including the pole) on the premises within sixty (60) days of the discontinuation.
- (g) Failure to comply with these sign maintenance requirements shall constitute a violation of the City of Douglas Zoning Code.

Sec. 708. Permitted signs, residential districts.

- (a) **One- and Two-Family Dwellings.** Message limited to property numbers, post box numbers, names of occupants of Premises, or other identification of premises not having commercial connotations.
 - (1) Area. one (1) square foot.
 - (2) Height and/or Clearance. A sign consisting of numerals and letters identifying a property address shall not be less than four (4) inches in height and cannot exceed twelve (12) inches.
 - (3) No permit is required.
- (b) **Permanent subdivision signs.** Message limited to name of subdivision only.
 - (1) Area. The total surface of permanent subdivision signs shall have a maximum of thirty-two (32) square feet for each sign.
 - (2) Height and/or Clearance. The maximum height of the permanent subdivision sign shall be four (4) feet if not in conflict with any required clear vision area.
 - (3) Number. Permanent subdivisions are limited to one (1) free standing masonry wall sign at each entrance. All such signs shall require a landscape area equal to four (4) square feet for each square foot of sign area. This landscape area shall be located around the base of the sign. (Refer to Article 18, Section 1804 for landscape maintenance.)
 - (4) Prior to issuance of the building permit, the Building Inspector shall have on file a copy of an acceptable finding and agreement describing the maintenance responsibility for the subdivision sign.
- (c) **Permanent Multi-Family Dwellings.** Message limited to name of complex.
 - (1) >Free-standing Masonry Wall Sign.

- (i) Area: A free-standing, permanent, sign is limited to two (2) square feet per dwelling unit to a maximum area of thirty-two (32) square feet. Sixteen (16) square feet per display surface if the sign has two display surfaces.
- (ii) Height and/or Clearance: A free-standing sign is limited to a maximum height of six (6) feet.
- (iii) Number: Permanent Multi-Family dwellings are limited to one (1) free-standing masonry wall sign. All such signs shall require a landscape area equal to four (4) square feet for each square foot of sign area. This landscape area shall be located around the base of the sign. (Refer to Article 18, Section 1804 for landscape maintenance.)
- (iv) Location: No free-standing or any portion of any free-standing sign shall be located on or projected over any portion of the street, sidewalk, or other public right-of-way. No such sign shall be erected at the intersection of any street or driveway in the clear vision area of the traveling public as determined by the police department, building inspector or city engineer.

- (2) Wall signs.
 - (i) Area: A permanent wall sign is limited to two (2) square feet per dwelling unit up to a maximum of thirty-two (32) square feet.
 - (ii) Height and/or Clearance: The maximum height of any portion of the wall sign shall not exceed five (5) feet in height. No wall sign shall extend above the roof line at the wall or the top of a parapet wall, whichever is higher.
- (3) Prior to the issuance of the building permit, the Building Inspector shall have on file a copy of an acceptable agreement describing the maintenance responsibility for the multi-dwelling structures sign.

- (d) Mobile Home and Trailer Parks. Message limited to name of the park only.
 - (1) Area: The total surface of permanent sign shall have a maximum of thirty-two (32) square feet for a sign.
 - (2) Height and/or Clearance: The maximum height of the permanent park sign shall be four (4) feet if not in conflict with any required clear vision area.
 - (3) Number: Permanent parks are limited to one (1) free-standing masonry wall sign at each entrance. All such signs shall require a landscape area equal to four (4) square feet for each square foot of sign area. This landscape area shall be located around the base of the sign. (Refer to Article 18, Section 1804 for landscape maintenance.)
 - (4) Location: No free standing or any portion of any free standing sign shall be located on or projected over any portion of the street, sidewalk, or other public right-of-way. No such sign shall be erected at the intersection of any street or driveway in the clear vision area of the traveling public as determined by the police department, building inspector or city engineer.
 - (5) Prior to issuance of the building permit, the Building Inspector shall have on file a copy of an acceptable finding and agreement describing the maintenance responsibility for the sign.

Sec. 709. Signs permitted for nonresidential uses: NC, OP, GC, IP, LI, HI, and AA.

- (a) Free-Standing Sign.
 - (1) Area: The maximum permitted area of a free-standing sign shall be ~~thirty-two (32)~~ fifty 50 square feet per sign face.

- (2) Height and/or Clearance: The maximum height of any portion of the sign structure shall be ~~ten (10)~~
~~fifteen (15)~~ feet as measured from the level of the main commercial floor of the primary structure.
- (3) Number: One (1) multi-faced free-standing sign identifying the business designating the principal goods, products, or facilities or services available on the premises shall be permitted.
- (4) Location: No free-standing or any portion of any free-standing sign shall be located on or projected over any portion of the street, sidewalk, or other public right-of-way. No such sign shall be erected at the intersection of any street or driveway in the clear vision area of the traveling public as determined by the police department, building inspector or city engineer.

(b) Wall Sign.

- (1) Area: The maximum permitted area of a wall sign or wall signs shall not exceed one (1) square foot for each one (1) linear foot of primary building frontage ~~or one (1) square foot for each five (5) feet of primary lot frontage; with the aggregate area of any wall signs plus any free-standing sign not to exceed the total obtained by one (1) square foot per one (1) linear square foot.~~
- (2) Height and/or Clearance: The maximum height of any portion of the wall sign shall not exceed ~~five (5)~~
~~eight (8)~~ feet in height. No wall sign shall extend above the roofline at the wall or the top of the parapet wall, whichever is higher.
- (3) Maximum Square Footage by Multiple Frontages: On buildings having more than one (1) street frontage, the maximum allowable number of square footage of on-site signs is permitted for each street frontage. Said maximum allowance, however, is not transferable either in whole or in part from one (1) building frontage to another, nor from one (1) occupancy to another occupancy.

709.1 Signs on Common Buildings. When one (1) or more attached signs are located on a building which is divided and contains more than one (1) business or use, the regulation of such attached signs as to size and projection shall apply separately to the part of the exterior walls which contain that business or use.

709.2 Street Address In Signs. All free-standing signs in commercial or industrial districts shall contain the street address in a size clearly legible from the street.

(c) Blade Signs.

- (1) Area: Maximum 12 square feet per sign face.
- (2) Height and/or Clearance: Bottom of the sign must be at least 8 feet above the sidewalk or pedestrian area; top of sign must not exceed 15 feet above grade.
- (3) Location: Signs must not obstruct pedestrian movement, sightlines, or public right-of-way. No part of the sign may project into a street or alley.
- (4) Number: One projecting/blade sign per tenant frontage; additional signs may be allowed with administrative approval if part of an integrated site plan.
- (5) Illumination: Externally illuminated only; no flashing or moving lights. Light must be directed downward to minimize glare.

709.1 Signs on Common Buildings. When one (1) or more attached signs are located on a building which is divided and contains more than one (1) business or use, the regulation of such attached signs as to size and projection shall apply separately to the part of the exterior walls which contain that business or use.

709.2 Street Address in Signs. All free-standing signs in commercial or industrial districts shall contain the street address in a size clearly legible from the street.

Sec. 710. Nonconforming signs.

A sign, including its supporting structure, shall be considered nonconforming when it does not conform to all or part of the provisions of this Article applicable thereto, is not a temporary sign and the sign:

- (a) Was in existence and lawfully located and used in accordance with the provisions of the prior ordinance applicable thereto or which was considered legally nonconforming thereunder and has since been in continuous or regular use; or
- (b) Was in existence, located and used on the premises at the time it was annexed into the City and has since been in regular and continuous use.

710.1 Destruction; Repair.

- (a) Any nonconforming portable, attached, or ground sign, including its supporting structure which is blown down, damaged, dilapidated or deteriorated, or otherwise destroyed or dismantled for any purpose other than maintenance operations or for changing the letters, symbols, or other matter on the sign, shall not be replaced, repaired, or renovated, in whole or in part, if the cost of such replacement, repair or renovation is in excess of sixty percent (60%) of the cost of erecting a new sign of the same type at the same location, including its supporting structure, unless such alteration or repair makes the sign conforming. No person shall repair, renovate, or alter a nonconforming sign without first receiving a sign permit.
- (b) No sign or supporting structure, which is lawfully reproduced, repaired or renovated as a nonconforming sign shall be increased in effective area or height.

Sec. 711. Special use permits.

In order to encourage and promote a harmonious relationship between buildings and signs, the Planning and Zoning Commission shall have the authority to issue a Special Use Permit for signs, which are designated into and are a part of an integrated architectural feature of a building where the provisions of the code would otherwise prohibit such signs.

- (a) A comprehensive sign plan may be submitted by the developers of proposed shopping centers, industrial parks, industrial and commercial subdivisions, hotel conference centers and other uses as approved by the Community Development Director. This plan shall include the location, size, height, lighting and orientation of all proposed signs, in addition to any other information deemed necessary. This sign plan may be submitted in conjunction with the required preliminary Site Plan for the development. If the comprehensive sign plan is found to be acceptable, exception to the provisions of this Code may be granted, if the sign areas and densities shown on the plan are in conformity with the intent of this Code and if such exceptions result in an improved relationship between the various parts of the plan.
- (b) The owners of sixty (60%) percent or more of the street frontage, in feet, or properties on both sides of the street in any defined area may petition the Planning and Zoning Commission for the creation of a special sign district for the purpose of creating an integrated special sign theme in the area. The Planning and Zoning Commission shall hold a public hearing on such a request after posting the property in question at least fifteen (15) days prior to the hearing, the Planning and Zoning commission shall make its recommendation to the City Council.

Sec. 712. Appeals.

Appeals procedure as set forth in Article 11, Section 1104.



ZMA-2025-04

Planning and Zoning Commission

October 2, 2025

Staff Report

To: Planning and Zoning Commission

From: Christine McLachlan, AICP

Date: Thursday, October 2, 2025

Subject: ZMA-2025-04: Rezoning two contiguous parcels under common ownership from Limited Commercial (LC) to General Commercial (GC)

INTRODUCTION

Aromaz Enterprise, LLC is proposing a zoning amendment for Assessor's Parcel Number (APN) 409-18-067 and 409-18-068, which is currently designated as Limited Commercial. The proposal seeks to rezone the parcel to General Commercial (GC) to legally permit eligible activities under the General Commercial (GC) designation. There are 4,236 SF and 6,240 SF buildings onsite, first constructed in 1973, with landscape and parking. The buildings were constructed for dental office/clinic use.



APN 409-18-068, Streetview (11th Street, facing northwest)





APN 409-18-068, Streetview (Intersection 11th Street and San Antonio Ave)



APN 409-18-068 and APN 409-18-067, Streetview (San Antonio Ave facing east)



APN 409-18-067, Streetview (San Antonio Ave facing east)



Location

APN 409-18-067 & 409-18-068

N.T.S.



BACKGROUND

The 2024 General Plan designates the future use of APN 409-18-001E as Commercial Center, reflecting the intended zoning and long-term development vision for the area. Per the General Plan, “This land use area provides locations for preferred commercial activities including, neighborhood, community and regional commercial centers as well as tourism and office commercial uses. Commercial and office uses are to be located at the intersection of or alongside arterial and/or collector roadways which serve the city and larger regional area. The intensity appropriate for a designated Commercial Center will be influenced by surrounding residential use intensity and public infrastructure existing or planned. Districts may include but are not limited to: MUI – Mixed Use/Infill Development, NC- Neighborhood Convenience, LC- Limited Commercial, OP- Office Professional, GC- General Commercial, IC-C – Innovative Community-Commercial, MFR -Multi-Family Residential, and PAD - Planned Area Development.”

The proposed zoning designation of General Commercial is compatible with this designation.

PROPOSAL

The applicant seeks to rezone from Limited Commercial (LC) to General Commercial (GC). The intent is to align with General Commercial zoning standards, which allow for permitted uses not currently allowed in the Limited Commercial (LC) zoning district. This change would facilitate the use of the existing structures for eligible uses under the General Commercial (GC) zoning district. More specifically, per the applicant, "This change will allow for a broader range of business uses creating more opportunities for entrepreneurs and small business owners to establish and grow in Douglas. By expanding the potential uses of the property, the rezoning will attract investment, increase local employment options, support the City's economic development goals. The General Commercial rezoning will provide greater flexibility to meet the evolving needs of the community while ensuring the property continues to serve as a valuable commercial asset for Douglas." The properties immediately adjacent to the south and west are currently zoned general commercial.

CONSIDERATIONS

The proposed zoning amendment aligns with key policies in the City of Douglas General Plan, particularly those supporting commercial development and economic growth.

- LU GOAL 1: Provide a balance of land uses that will preserve and enhance neighborhoods, promote economic development, encourage redevelopment at appropriate locations and protect environmentally sensitive areas.
- LU GOAL 5: Support appropriate locations for commercial and office land uses, including infill development and redevelopment.
- LU GOAL 7: Promote Commercial and Industrial Development

Objective: Encourage commercial and industrial development that enhances economic vitality, job creation, environmental quality, and community livability.

Relevant Policies:

- LU-PB 1-1e Promote infill and reinvestment within established areas of the city.
- LU-ERD 5-1b Support community-scaled commercial and office uses located at the intersection of arterial streets, taking into consideration traffic safety and congestion issues.



Zoning

APN 409-18-067 & 409-18-068

N.T.S.



CONCLUSION

The proposed rezoning from Single-Family Residential (SFR8) to General Commercial (GC) aligns with the City of Douglas General Plan by:

- Facilitating economic development and commercial expansion.
- Providing storage solutions to serve local businesses and residents.
- Supporting land-use transitions that complement surrounding properties.

With the zoning amendment, the city can promote sustainable growth while ensuring compatibility between residential and commercial developments.

Staff recommends a recommendation of approval to Mayor and Council.

ZMA-2025-04

Planning and Zoning Commission

October 2, 2025

Staff Report

Attachment:

Application



Development Services
425 E. 10th Street • Douglas, AZ 85607 • Permitting (520) 417-7329
permits@douglasaz.gov • www.douglasaz.gov/290/Development-Services

Abrazando nuestro patrimonio, avanzando en nuestro futuro

Zoning Districts Map Amendment Application

Please print in black ink only.

Imprima solo en tinta negra.

Application Fee and Public Notice Fee...See Fee Schedule
Cuota de Solicitud y Cuota de Aviso Público...Ver Lista de Cuotas

Application Name/Nombre de la Aplicación (Office Use Only):

ZMA-

Existing Zoning/Zonificación Existente:

Limited Commercial

Proposed Zoning/Zonificación Propuesta:

General Commercial

Subject Address or Area/Asunto Dirección o Área (attach map/adjuntar mapa):

1101 San Antonio Ave Douglas AZ 85607

County APN(s)/Número(s) de Parcela del Tasador del Condado:

① 40918068 ② 40918067

Acres:

①

0.2

②

0.33

Subdivisions, Blocks, Lots/Subdivisiones, Bloques, Lotes: ① Foothills S2 of lots 17 thru

20 INC BLK 10 ② Foothills N2 of lots 15 thru 20 & W19' of N2 of lot 14 BLK 10

1/4 Section/Cuarto de Sección:

Section/Sección:

Township/Municipio:

Range/Intervalo:

S

E

Applicant/Solicitante: (required/requeridos)

Name/Nombre: Jay Ramona

Phone/Teléfono: 520 368 1371

Mailing Address/Dirección de Envío:

3115 11th St Douglas AZ 85607

City/Ciudad, State/Estado, Zip/Código postal:

Douglas AZ 85607

E-Mail Address: eramona7LLC@gmail.com

Signature:

Date: 09/05/2025

Property Owner(s) (if not Applicant(s))/Dueños de la Propiedad (si no es Solicitante):

Attach petition(s), if applicable per DMC §17.12

The above signed property owner(s) certify that the above information is true and correct to the best of his/her/their knowledge and under penalty of perjury, each states that they are all of the legal owners of the property described above and designate the following party to act as their agent with respect to this application.

Agent/Agente (required if primary contact is different from Applicant)/
obligatorio si el contacto principal no es el Solicitante):

Name/Nombre: N/A

Phone/Teléfono: N/A

Mailing Address/Dirección de Envío:

N/A

City/Ciudad, State/Estado, Zip/Código postal:

N/A

E-Mail Address: N/A

License #/Número de Licencia: N/A

OFFICE USE ONLY

City-Initiated

Privately-Initiated

Date Application Received:

Received by:

Date Signed Petitions Received, If Required:

Received by:

% of Total

Date Application Complete:

Completeness Review by:

RECEIVED
SEP 05 2025



**Zoning Districts Map Amendment Application Checklist/
Lista de Verificación de Solicitud de Enmienda de Mapa de Distritos de
Zonificación**

All plans must be completed and clearly legible. Note on plans whether an item is existing or proposed.
Todos los planos deben estar completos y claramente legibles. Anote en los planos si un artículo existe o se propone.

Subject Address or Area/Asunto Dirección o Área: The affected area of the rezone proposal/
El área afectada de la propuesta de rezonificación.

**REQUIRED FOR ALL ZONING DISTRICTS MAP AMENDMENT APPLICATIONS/
REQUERIDO PARA TODAS LAS SOLICITUDES DE ENMIENDA DE MAPA DE DISTRITOS DE
ZONIFICACIÓN:**

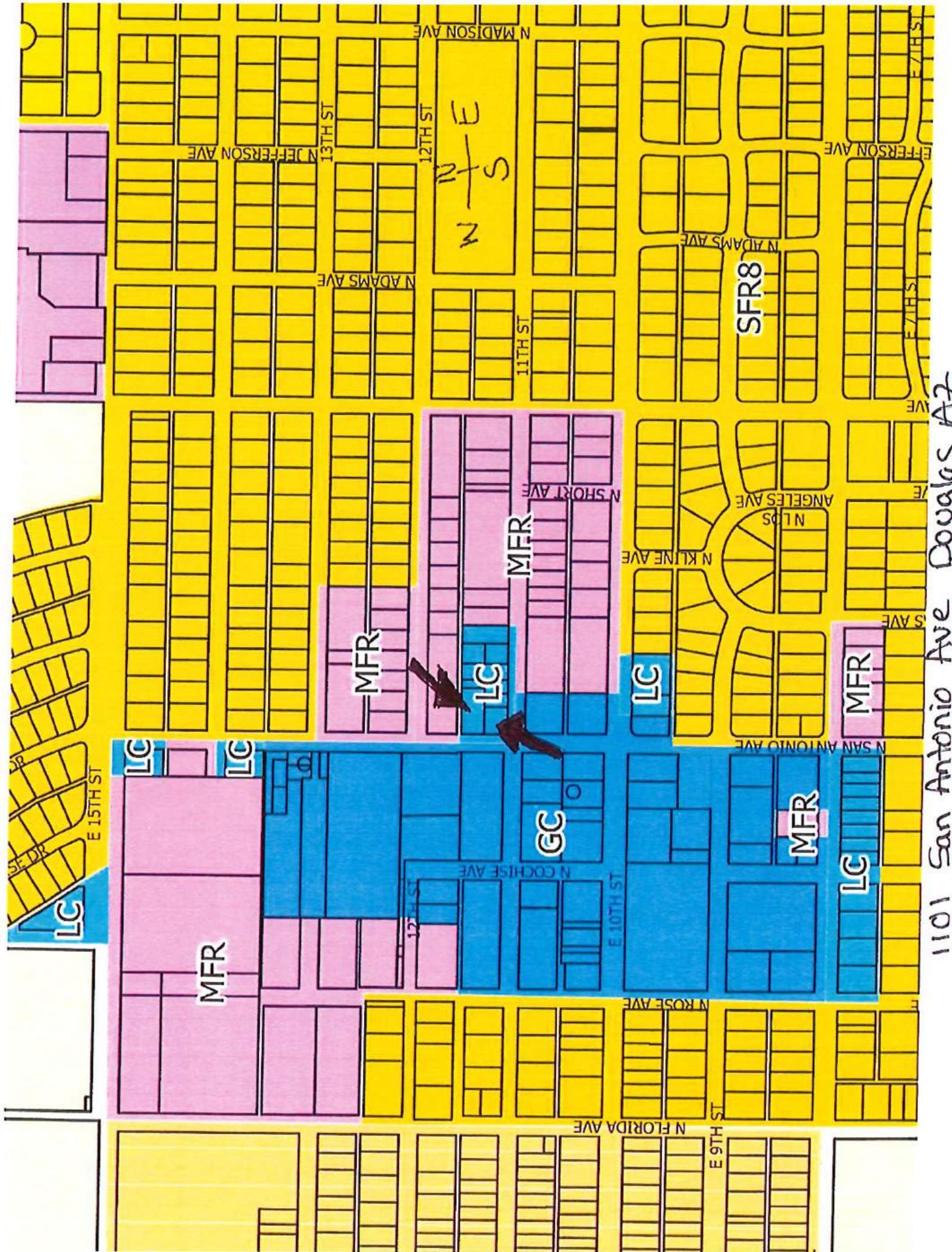
SITE PLAN Details/PLAN DE SITIO Detalles

- 1. Vicinity Map with North Arrow and Scale/Mapa de cercanías con flecha de norte y escala.
- 2. All property lines highlighted of parcels included in the proposal/Todas las líneas de propiedad resaltadas de las parcelas incluidas en la propuesta .
- 3. Name(s) of any street(s) adjoining the project site, and showing alleyways/Nombre(s) de cualquier calle(s) contigua(s) al sitio del proyecto y que muestre callejones .

PURPOSE STATEMENT/DECLARACIÓN DE PROPÓSITO

I(We) seek to amend the Zoning Districts Map designation for the Subject Address(Area) because.../Yo (Nosotros) buscamos enmendar la designación del Mapa de Distritos de Zonificación para la Dirección (Área) en cuestión porque ...[Please attach letter, if needed/Adjunte una carta, si es necesario]

The purpose of this rezoning request is to change the property's designation from Limited Commercial (LC) to General Commercial (GC). This change will allow for a broader range of business uses, creating more opportunities for entrepreneurs and small business owners to establish and grow in Douglas. By expanding the potential uses of the property, the rezoning will help attract investment, increase local employment options, and support the city's economic development goals. The General Commercial zoning will provide greater flexibility to meet the evolving needs of the community while ensuring that the property continues to serve as a valuable commercial asset for Douglas.



1101 San Antonio Ave. Douglas AZ



ZMA-2025-05

Planning and Zoning Commission

October 2, 2025

Staff Report

To: Planning & Zoning Commission

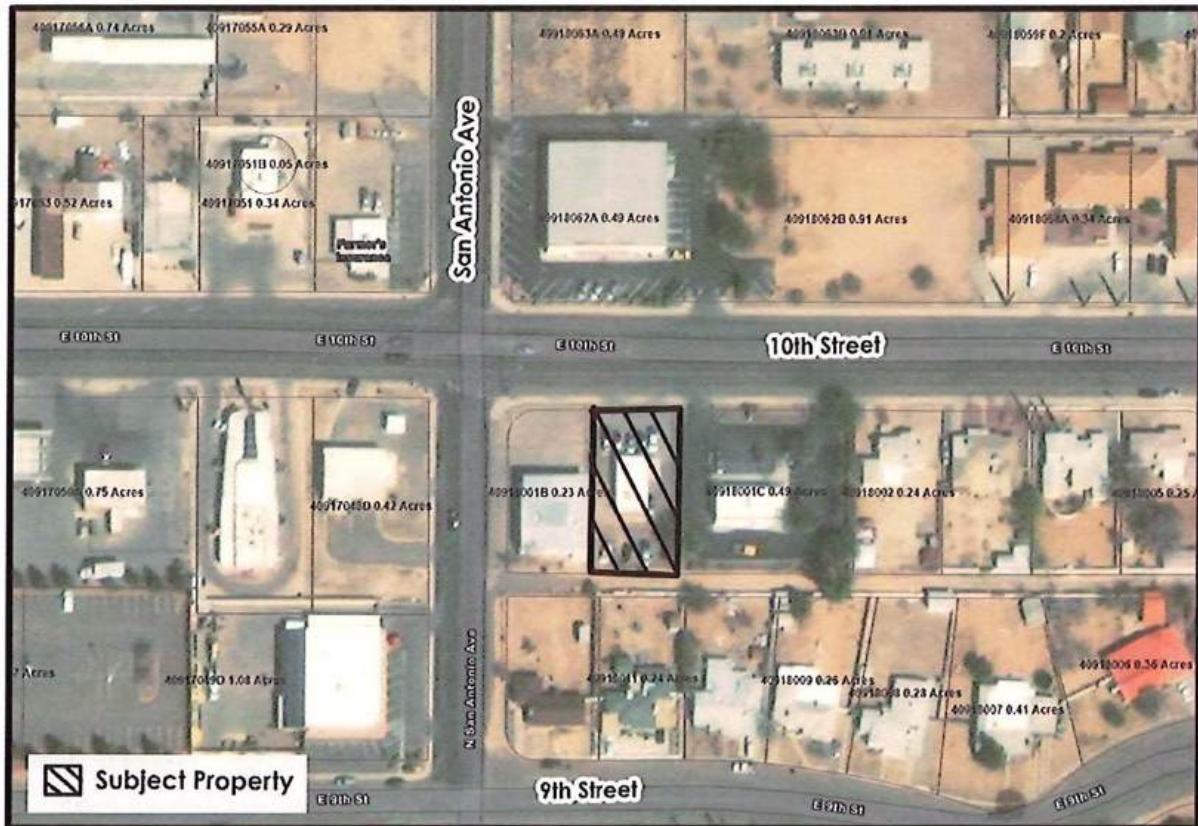
From: Christine McLachlan, AICP

Date: Thursday, October 2, 2025, 5:30 p.m.

Subject: ZMA-2025-05: Rezoning a 0.25-acre parcel from Limited Commercial (LC) to General Commercial (GC)

INTRODUCTION

Aromaz Enterprise, LLC is proposing a zoning amendment for Assessor's Parcel Number (APN) 409-18-001E/1915 East 10th Street, which is currently designated as Limited Commercial. The property is 0.25 acres and developed. The proposal seeks to rezone the parcel to General Commercial (GC) to legally permit eligible activities under the General Commercial (GC) designation. There is a 1,125 SF building, first constructed in 1979, with asphalt parking on the property.



Location

APN 409-18-001E

N.T.S.





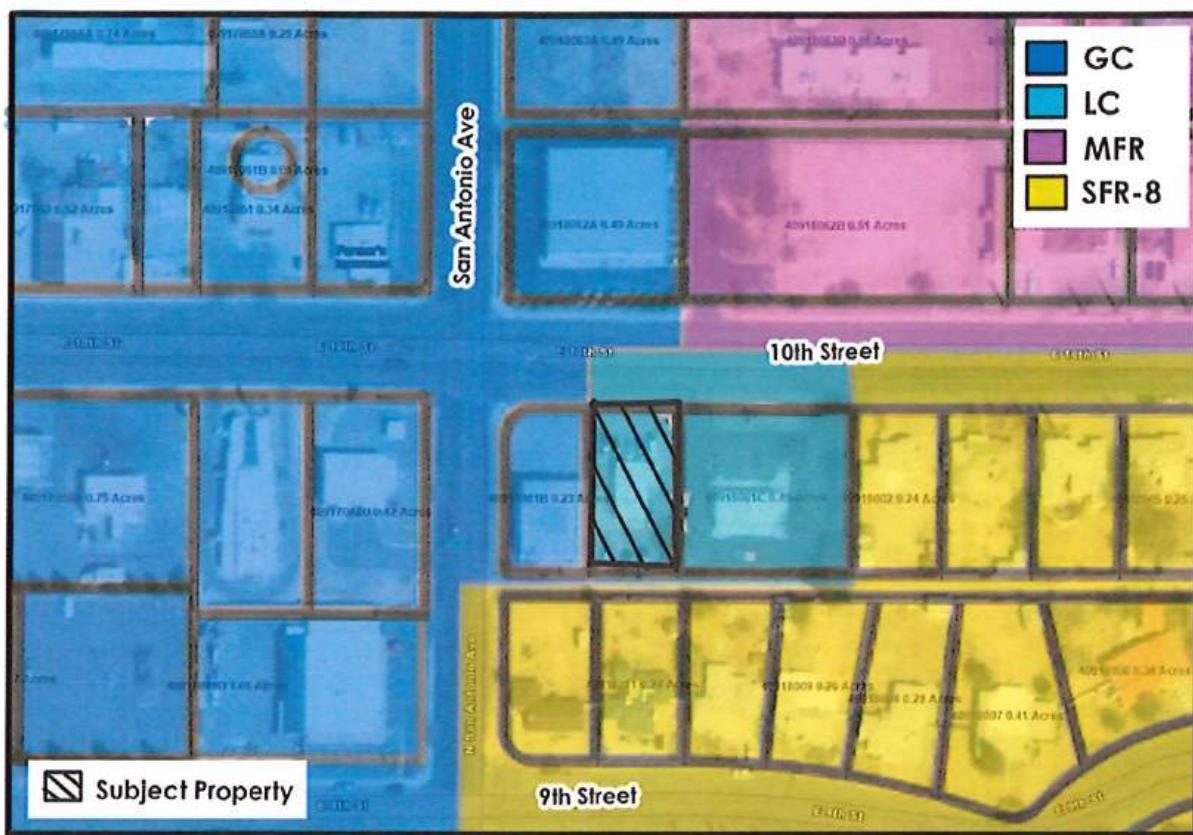
LAND USE

The 2024 General Plan designates the future use of APN 409-18-001E as Commercial Center, reflecting the intended zoning and long-term development vision for the area. Per the General Plan, " This land use area provides locations for preferred commercial activities including, neighborhood, community and regional commercial centers as well as tourism and office commercial uses. Commercial and office uses are to be located at the intersection of or alongside arterial and/or collector roadways which serve the city and larger regional area. The intensity appropriate for a designated Commercial Center will be influenced by surrounding residential use intensity and public infrastructure existing or planned. Districts may include but are not limited to: MUI – Mixed Use/Infill Development, NC- Neighborhood Convenience, LC- Limited Commercial, OP- Office Professional, GC- General Commercial, IC-C – Innovative Community-Commercial, MFR -Multi-Family Residential, and PAD - Planned Area Development."

The proposed zoning designation of General Commercial is compatible with this designation.

PROPOSAL

The applicant seeks to rezone from Limited Commercial (LC) to General Commercial (GC). The intent is to align with General Commercial zoning standards, which allow for permitted uses not currently allowed in the Limited Commercial (LC) zoning district. This change would facilitate the use of the existing structures for eligible uses under the General Commercial (GC) zoning district. More specifically, per the applicant, "This change will allow for a broader range of business uses creating more opportunities for entrepreneurs and small business owners to establish and grow in Douglas. By expanding the potential uses of the property, the rezoning will attract investment, increase local employment options, support the City's economic development goals. The General Commercial rezoning will provide greater flexibility to meet the evolving needs of the community while ensuring the property continues to serve as a valuable commercial asset for Douglas." The property immediately adjacent to the west is currently zoned general business.



Zoning

APN 409-18-001E

N.T.S.



CONSIDERATIONS

The proposed zoning amendment aligns with key policies in the City of Douglas General Plan, particularly those supporting commercial development and economic growth.

- LU GOAL 1: Provide a balance of land uses that will preserve and enhance neighborhoods, promote economic development, encourage redevelopment at appropriate locations and protect environmentally sensitive areas.
- LU GOAL 5: Support appropriate locations for commercial and office land uses, including infill development and redevelopment.
- LU GOAL 7: Promote Commercial and Industrial Development

Objective: Encourage commercial and industrial development that enhances economic vitality, job creation, environmental quality, and community livability.

Relevant Policies:

- LU-PB 1-1e Promote infill and reinvestment within established areas of the city.
- LU-ERD 5-1b Support community-scaled commercial and office uses located at the intersection of arterial streets, taking into consideration traffic safety and congestion issues.



CONCLUSION

The proposed rezoning from Limited Commercial (LC) to General Commercial (GC) aligns with the City of Douglas General Plan by:

- Facilitating economic development and commercial expansion.
- Provide a balance of land uses that will preserve and enhance neighborhoods, promote economic development, encourage redevelopment at appropriate locations.
- Staff recommends a recommendation of approval to Mayor and Council.



ZMA-2025-05

Planning and Zoning Commission

October 2, 2025

Staff Report

Attachment:

Application



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Abrazando nuestro patrimonio, avanzando en nuestro futuro

Development Services

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Application Name/Nombre de la Aplicación (Office Use Only):

ZMA-

Existing Zoning/Zonificación Existente:

Limited Commercial

Proposed Zoning/Zonificación Propuesta:

General Commercial

Subject Address or Area/Asunto Dirección o Área (attach map/adjuntar mapa):

1915 E 10th St Douglas AZ 85607

County APN(s)/Número(s) de Parcela del Tassador del Condado:

40918001E

Acres:

0.25

Subdivisions, Blocks, Lots/Subdivisiones, Bloques, Lotes:

Frontier Village #1 THE N77' OF THE E228' LOT 1 BLK 1 .247 AC

1/4 Section/Cuarto de Sección:

Section/Sección:

Township/Municipio:

Range/Intervalo:

S

E

Applicant/Solicitante: (required/requeridos)

Name/Nombre: **Jay Zamora**

Phone/Teléfono: **520 368 1371**

Mailing Address/Dirección de Envío:

3115 E 11th St Douglas AZ 85607

City/Ciudad, State/Estado, Zip/Código postal:

Douglas AZ 85607

E-Mail Address: **aromatllc@gmail.com**

Signature:

Date: **09/05/2025**

Property Owner(s) (If not Applicant(s))/Dueños de la Propiedad (si no es Solicitante):

Attach petition(s), if applicable per DMC §17.12

The above signed property owner(s) certify that the above information is true and correct to the best of his/her/their knowledge and under penalty of perjury, each states that they are all of the legal owners of the property described above and designate the following party to act as their agent with respect to this application.

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Name/Nombre: **N/A**

Phone/Teléfono: **N/A**

Mailing Address/Dirección de Envío:

N/A

City/Ciudad, State/Estado, Zip/Código postal:

N/A

E-Mail Address: **N/A**

License #/Número de Licencia: **N/A**

OFFICE USE ONLY

City-Initiated

Privately-Initiated

Date Application Received:

Received by:

Date Signed Petitions Received, if Required:

Received by:

% of Total

Date Application Complete:

Completeness Review by:

RECEIVED

SEP 05 2025



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